



## AGENDA

**Shayne Scott, County Manager**  
**Monday, March 18, 2024**

NOTICE is hereby given that Shayne Scott, County Manager, will conduct a public hearing to and possible action on the proposed Elevation Condominiums Final Site Plan and Condominium Plat

Monday, March 18, 2024, at 1:00 PM, at the anchor location of the Summit County Courthouse, Executive Conference Room, 60 N. Main Street, Coalville, UT 84017, and via Zoom

**To participate electronically via Zoom in the meeting:**

**<https://summitcountyut.zoom.us/j/9535992911>**

**OR**

**To listen by phone only: Dial 1-301-715-8592, Webinar ID: 953 599 2911**

**OR**

**To submit written comment please email [trobinson@summitcounty.org](mailto:trobinson@summitcounty.org) prior to the meeting**

**1:00 PM** Public hearing and possible action regarding the proposed Elevation Condominiums Final Site Plan and Condominium Plat, located on WEIGHT-1, 0.92 acres, 2306 West Red Pine Road. Applicant: Tony Tyler. County Staff: Tiffanie Robinson. – File #22-262

*Attendees may attend by electronic means, using Zoom (phone or video).*

*Such members may fully participate in the proceedings as if physically present. The anchor location for purposes of the electronic meeting is the Summit County Courthouse, 60 N. Main Street, Coalville, Utah 84017*

Individuals with questions, comments, or needing special accommodations pursuant to the Americans with Disabilities Act regarding this meeting may contact Annette Singleton at (435) 336-3025

**Summit County Manager**

P.O. Box 128, 60 North Main, Coalville; UT 84017  
(435) 336-3025

[asingleton@summitcounty.org](mailto:asingleton@summitcounty.org) or [www.summitcounty.org](http://www.summitcounty.org)



## STAFF REPORT

**To:** Shayne Scott, County Manager  
**From:** Tiffanie N. Robinson, County Planner  
**Date of Meeting:** March 18, 2024  
**Type of Item:** Elevation Condominiums  
Final Site Plan & Condominium Plat  
Public Hearing, Possible Action  
**Process:** Administrative Review

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### Recommendation

Staff has reviewed the application for compliance with all standards in the Snyderville Basin Development Code and the Canyons Development Agreement (DA). It is staff's finding that the project meets the applicable standards in the Snyderville Basin Development Code and the Canyons Development Agreement, with conditions. Staff recommends that the County Manager conduct a public hearing, review the proposal and approve the Elevation Condominiums Final Site Plan and Condominium Plat, based on the findings of fact, conclusions of law and conditions of approval outlined in the staff report.

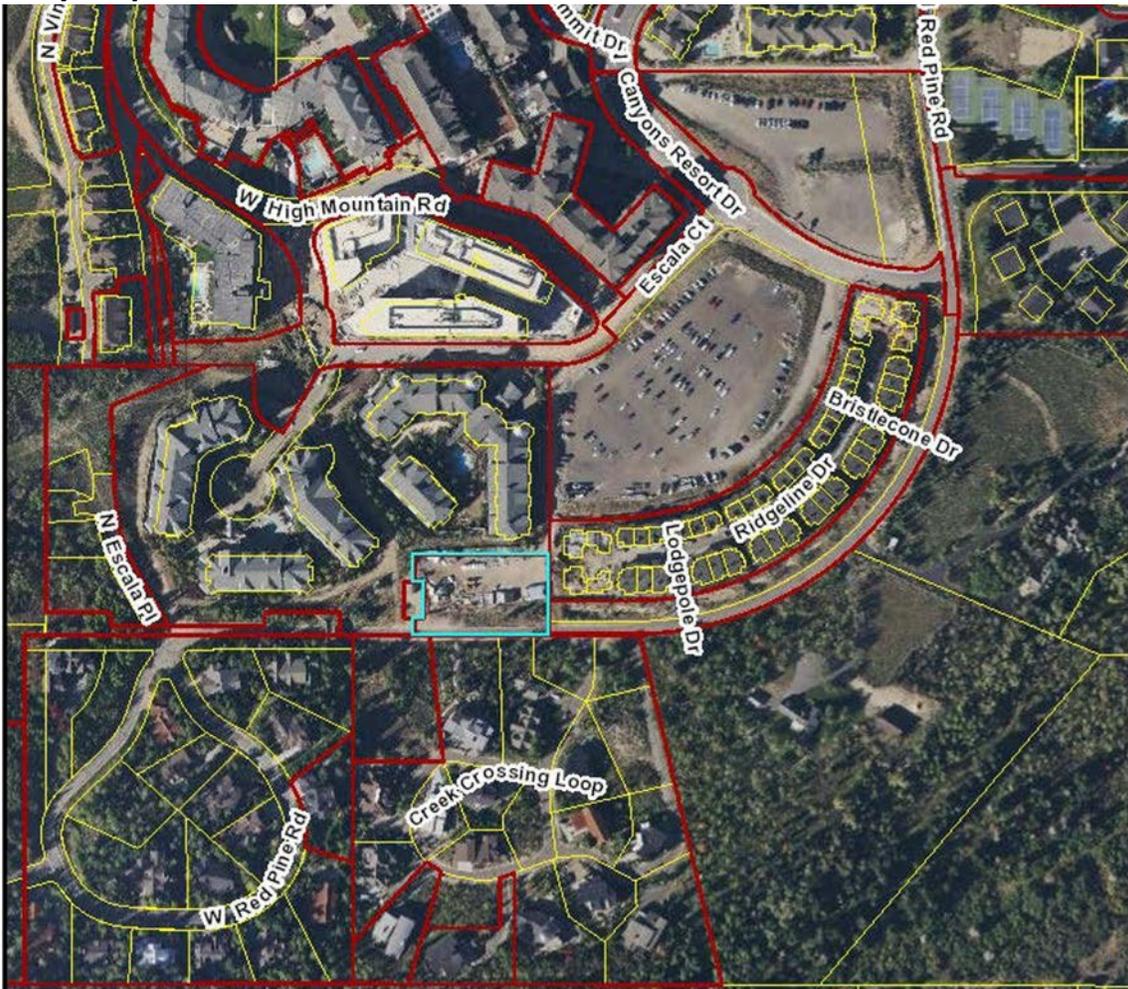
### Project Description

**Project Name:** Elevation Condominiums Final Site Plan & Condominium Plat  
**Project #:** 22-262  
**Applicant(s):** Tony Tyler, authorized representative  
**Property Owner(s):** CPD THPC, LLC  
**Location:** 2306 West Red Pine Road, Canyons Village  
**Zone District:** Specially Planned Area (SPA)  
**Parcel Number and Size:** WEIGHT-1, 0.92 acres  
**Type of Process:** Administrative  
**Final Land Use Authority:** County Manager

### Proposal

The applicant is requesting a recommendation for a Final Site Plan and Condominium Plat for Elevation Condominiums on parcel WEIGHT-1, located at 2306 West Red Pine Road **EXHIBIT A**. Under the Amended and Restated Canyons Development Agreement, the remaining density for the WEIGHT-1 parcel is 36,760 square feet of hotel/lodging density and 33,813 square feet of commercial density. The applicant is proposing to create six (6) condominium units. No commercial use is proposed.

## Vicinity Map



## Background

The Canyons Development Agreement allocates the use, height, and maximum allowed square footage for each parcel within the Resort. According to the Amended and Restated Canyons SPA and Land Use chart the Weight parcel was allowed a maximum of 137,000 square feet of hotel/lodging density and 38,000 square feet of commercial/retail density. However, there is extensive history for this development parcel, explained below that leaves it with 36,760 square feet of hotel/lodging density and 33,813 square feet of commercial density.

The Escala development included the Cox/Muller 1, 2 & 3 density that was utilized for Escala Lodges Plat A and was recorded in 2005. The Escala Lodges Plat "A" included five (5) lots and is located between Red Pine Road and High Mountain Road. Lot 1, approximately 5.28 acres, is the site of the Escala, now known as Hyatt Centric, and the remaining four (4) lots are known as

the cabin lots. Construction for the three Escala hotel lodging buildings took place from 2006 until 2008. The cabin lots remain vacant.

The Weight density allotted in the Canyons Land Use and Zoning Chart, plus some density that was transferred from Escala (CM parcels) was utilized for construction of the Sunrise at Escala (Escala Phase II). The project site was approximately 4.02 acres and included two (2) buildings with 83 full ownership condominiums and 2-duplex buildings. The final site plan was recorded in 2006. Construction of the two primary hotel lodging buildings began in 2006 and continued until 2011. The duplex units were never constructed.

In 2008, a revised condominium plat was recorded to combine the Escala Lodges Plat A hotel lodging units and Sunrise at Escala, Escala Phase II hotel lodging units into one condominium plat. The four cabin lots remained in the Escala Lodges Plat A Subdivision. When the condominium plats were combined, the total project site comprised 9.02 acres. As part of that Escala Lodges Condominiums Amended & Restated plat, there was a portion of the site that was designated as "Withdrawable Land". The intent of this designation was to preserve future building design flexibility for the remaining density from Sunrise at Escala (Escala Phase II).

In 2012, the Withdrawable Land was subdivided off and is known as the Weight Townhouse Subdivision **EXHIBIT B**. The maximum allowable density remaining of the Weight Townhouse parcel is 36,760 square feet of hotel/lodging density and 33,813 square feet of commercial density with a maximum height that is varied from 2-3 stories. Plat note 5 restricts the use of Red Pine Road as the primary access so the application has been on hold, pending the modification of this note restriction.

On November 10, 2022, an application was submitted for Elevation Condominiums which consist of six (6) condominium units to be constructed on the Weight Townhouse Subdivision. The units are proposed to be operated at hotel/lodging units. No commercial use has been proposed as part of the application. The Weight Townhouse Subdivision plat note 5 restricts the use of Red Pine Road as the primary access to the site, so the application has been on hold, pending the resolution of this note restriction.

On October 10, 2023, the SBPC conducted a public hearing to consider the proposed amendment to remove plat note 5 that restricts the use of Red Pine Road as the primary access to the site. The Commission voted unanimously to deny the amendment. The Final Site Plan and Condominium plat were not discussed.

On October 26, 2023, CPD THPC, LLC appealed the SBPC decision to deny the plat amendment to the Summit County Council.

On November 29, 2023, the Council heard the appeal of the determination by the Snyderville Basin Planning Commission to deny Applicant's application to remove Plat Note #5 from the

Weight Townhouse Subdivision Plat. The Council rendered its decision to GRANT the Appeal, voting on the matter 4-1, with that decision to become final following the adoption findings of fact and conclusions of law. The findings were effective December 12, 2023, **EXHIBIT C**. The findings approved the plat amendment removing Note 5, so long as not more than 25,000 square feet of the hotel/lodging density was used in the Weight Townhouse Subdivision.

On February 13, 2024, the Snyderville Basin Planning Commission discussed the proposed Elevation Condominium Finals Site Plan and Condominium plat and forwarded a unanimous positive recommendation to the County Manager. The following link for the meeting discussing this item. [https://summitcounty.granicus.com/player/clip/373?meta\\_id=26485](https://summitcounty.granicus.com/player/clip/373?meta_id=26485)

The Canyon’s Design Review Committee (DRC) conducted a detailed review of the proposed Elevation Condominiums plan and forwarded a positive recommendation, with conditions, for the Final Site Plan and Condominium Plat, on February 24, 2022, **EXHIBIT D**.

**Analysis and Findings**

The Canyons SPA and Development Agreement govern the process for this development. Section 2.7 of the Amended and Restated Development Agreement, adopted on November 15th, 1999, provides the Development Approval Process for all plats within the SPA. It states, after reviewing the proposed Final Subdivision Plat, Condominium Plat or Final Site Plan, the Planning Commission shall make a recommendation to the Board of County Commission (since the form of government changed from the Board of Commission to County Council, this administrative function is now handled by the County Manager). The County Manger will then conduct a public hearing and make a final decision of approval, approval with conditions, or denial of the project.

Staff’s review of the petition, based upon the information presented and with the recommendation of the Canyons DRC, indicates that the project generally complies with the Amended and Restated Canyons Development Agreement and meets the minimum requirement for approval in the Snyderville Basin Development Code. Although there are still some minor outstanding items to be completed, Staff believes that, as conditioned, the project could be considered for a public hearing and final decision from the County Manager.

<b>Weight Townhouse – Elevation Condominiums - Final Site Plan Review</b>		
<b>Code Requirement</b>	<b>Analysis</b>	<b>Comment</b>
1. Environmental Criteria	Comments from the Health department state that use will not produce byproducts that would be harmful to the air, water or watershed quality of the Snyderville Basin. No wood burning fireplaces are allowed.	<b>COMPLIES</b>

2. Critical Areas	The proposed use is not located on or near a critical ridgeline, wetland, critical slopes or flood plain.	<b>COMPLIES</b>
3. Open Space	All open space within the Canyons SPA and DA is designated on the Land Use Map, Exhibit B.1 if the DA. There is a portion of the site directly adjacent to Red Pine Road that appears to be designated as Village Open Space. This area should be limited to active and passive recreational use, per the DA <b>EXHIBIT E</b> . The applicant has updated the final site plan and condominium plat restricting this area to Village Open Space. A note has been included that is consistent with other plats describing this area and allowed use of it.	<b>COMPLIES, as conditioned</b>
4. Water and Water Supply	The applicant has indicated that Summit Water has sufficient water for the site.	<b>COMPLIES</b>
5. Sanitary Sewer	The Snyderville Basin Water Reclamation District has been working with the applicant to complete a LEA. They are prepared to sign the plat once they have completed this agreement and provided the necessary design drawings.	<b>COMPLIES, as conditioned</b>
6. Fire Protection	Mike Owens has indicated he has reviewed the project and has questions regarding the use. Information submitted to the PCFD from the applicant suggests that the units are being constructed as multi-family dwellings under the residential code. The use allowed for the property is Hotel/Lodging. If approved, the applicants will be required to meet the IBC standards for hotel/lodging.	<b>COMPLIES, as conditioned</b>
7. Loading and Unloading	Loading and unloading will take place entirely on site.	<b>COMPLIES</b>
8. Parking Requirements	The Canyons parking standards requires 0.8 spaces per lodging unit. Each unit will have a garage to accommodate 2 parking spaces. The exterior parking was removed because it exceeded this standard and was within the landscaping buffer area.	<b>COMPLIES</b>
9. Transportation Infrastructure and Access Design	The Summit County Engineer has been working with the applicant to meet all necessary infrastructure standards. Some items are still be worked out through the construction plan review but nothing that would prevent the project from moving	<b>COMPLIES, as conditioned</b>

	forward.	
10. Public Utilities	All necessary public utilities are available on site. Rocky Mt. Power and Dominion Energy has provided will-serve letters.	<b>COMPLIES</b>
11. Mail Delivery	No on-site mail delivery will be available. If a unit owner would like a mailbox they will have to obtain one at the Kimball Junction post office.	<b>COMPLIES</b>
12. Solid Waste and Recycling	All units will have individual garbage and recycling containers that will be stored in each units garage.	<b>COMPLIES</b>
13. Snow Removal and Storage	The Code requires a minimum of 10% for the site. As shown, the snow storage meets the minimum 10% required. However, staff and the CVMA have requested verification from Talisman Engineering that the detention basin is sufficiently sized, prior to final approval. <b>EXHIBIT A.17</b>	<b>COMPLIES, as conditioned</b>
14. Police and Security	The site provides adequate access for both police and security personnel.	<b>COMPLIES</b>
15. Parks, Trails, and Trailheads	The project was reviewed by the Snyderville Basin Recreation District who indicated they have no specific concerns. Per the connectivity exhibit, multiple pedestrian walkways are available for guests of the project to access the ski trail as well as the resort. The applicant has shown multiple connections to the adjacent properties and into the core of the resort, utilizing existing ski trails, bike paths and improved sidewalks <b>EXHIBIT A.21.</b>	<b>COMPLIES</b>
16. ADA Access	The project will be reviewed by representatives from the building Department for compliance with all accessibility requirements prior to the issue of a building permit.	<b>Building Dept. will verify at building permit review</b>
17. Special Site Design Requirements	The site-specific design guidelines require a 50- foot landscaping buffer setback from Red Pine Road, within which no building may occur <b>EXHIBIT E.</b> This area must be landscaped. The structures are setback and meet the standard. Some of the buffers include the access driveway to each unit, but the parking spaces have been removed.	<b>COMPLIES, as conditioned</b>

18. Architectural Regulations for All Structures	The proposed architecture has been reviewed by the Canyons DRC and is in compliance with the design guidelines. The façade shifts, color and materials are compatible with the standards of the Code.	<b>COMPLIES</b>
19. Landscape Regulations	Per the site-specific design guidelines of the Canyons DA, a 50' landscape buffer is required from the edge of the Red Pine Road ROW. Landscaping is also required up to the edge of the road. The first 40' of that buffer is landscaping and the detention basin. <b>EXHIBIT A.19</b> The landscaping plan must include plant size, count and irrigation plans and verify that it meets all standards of chapter 10-4-21.	
20. Lighting Regulations	10-4-22 requires a photometric plan to verify compliance with the lighting standards. It appears that the lighting complies with the minimum/maximum standards outlined in the Code. The LED lighting may not exceed 3000 kelvin.	<b>COMPLIES, as conditioned</b>
21. Height	The Canyons SPA allows for 2-5 stories on the Weight Parcel. Per the site-specific design guidelines of the Canyons DA, this portion of the Weight Parcel site limits the structure along Red Pine Road to 2 stories and then allows for 3 stories near the rear of the lot. The units include an elevator penthouse and roof top living area in the center of the structures that adds additional height in the center of the buildings. <b>EXHIBIT A.</b>	<b>COMPLIES</b>

22. Density/Use	<p>WEIGHT-1 has 36,760 square feet of hotel/lodging density and 33,813 square feet of commercial density. As proposed, the units will utilize ~25,000 square feet. No commercial density is proposed. Based on the findings of fact and conclusions of law issued on December 12, 2023, by the SCC, a condition of the appeal approval, <i>“the Appellant may only locate 25,000 sf of hotel/lodging use in the Weight Townhouse Subdivision, with the remaining excess vested density available for transfer to another site within the Canyons Specially Planned Area in accordance with the Canyons DA.”</i> A note shall be placed on the final site plan and condominium plat restricting the site to comply with this condition.</p> <p>The applicant has provided a statement to demonstrate compliance with the hotel/lodging definition <b>EXHIBIT A.8</b>. A note shall be placed on the Final Site Plan and Condominium plat stating that the density utilized on the site is for Hotel/Lodging use and must comply with the hotel lodging standards outlined in the Canyons Development Agreement. Additionally, hotel lodging units do not qualify for primary residency. A note shall be included on the plats stating that the units would not qualify for primary tax exemption.</p>	<b>COMPLIES, AS CONDITIONED</b>
23. Sustainability	<p>The Canyons DA requires that each development make a sustainability statement associated with each project. The applicant has verbally described the sustainable design and construction efforts being made for this project. The applicant has provided a sustainability statement and practices for the Elevation Condominiums <b>EXHIBIT E</b>.</p>	<b>COMPLIES</b>

## **Recommendation:**

Staff has reviewed the application for compliance with all standards in the Snyderville Basin Development Code and the Canyons Development Agreement (DA). It is staff's finding that the project meets the applicable standards in the Snyderville Basin Development Code and the Canyons Development Agreement, with conditions. Staff recommends that the County Manger conduct a public hearing, review the proposal, and approve for the Elevation Condominiums Final Site Plan and Condominium Plat, based on the finding of fact, conclusions of law and conditions of approval outlined below:

### **Findings of Fact:**

1. According to the current assessor's parcel information, CDP THPC, LLC is the owner of record for parcel WEIGHT-1.
2. WEIGHT-1 is approximately 0.92 acres in size.
3. Parcel WEIGHT-1 is zoned Specially Planned Area (SPA) and is within the Canyons Specially Planned Area (SPA) boundaries.
4. An application for Elevation Condominiums Final Site Plan and Condominium Plat was submitted on November 10, 2022.
5. WEIGHT-1 has 36,760 square feet of hotel/lodging density and 33,813 square feet of commercial density remaining. As proposed, the units will utilize approximately 25,000 square feet. No commercial density is proposed.
6. The parcel is allowed to be a maximum height that is varied from 2-3 stories, as described in the Canyons Development Agreement Land Use and Zoning Chart, more specifically outlined in the site-specific design guidelines.
7. The applicant is proposing to construct six (6) condominium units, to be operated as hotel-lodging units.
8. The site-specific design guidelines require a minimum setback and landscape buffer of 50' from the edge of the Red Pine Road right-of-way.
9. The Canyons Land Use map has designated village open space on the southern boundary of the Weight parcel.
10. The Canyons DRC made a formal recommendation, with conditions, for the Elevation Condominiums Final Site Plan and Elevation Condominiums Condominium Plat on February 22, 2022.
11. On December 12, 2023, Findings of Fact and Conclusions of Law were issued in the matter of the Weight Townhouse Subdivision appeal regarding the removal of plat note 5 restricting the use of Red Pine Road for primary access to the site. Based on those Finding of Fact and Conclusion of law, the County Council approved the plat amendment to remove plat note 5 with the condition that the Appellant may only located 25,000 square feet of hotel/lodging density on this site.
12. On February 13, 2024, the Snyderville Basin Planning Commission discussed the proposed Elevation Condominium Finals Site Plan and Condominium plat and forwarded a

unanimous positive recommendation to the County Manager.

**Conclusions of Law:**

1. The proposed Elevation Condominiums Final Site Plan and Condominium Plat complies with all requirements of the Snyderville Basin Development Code and the amended and restated Canyons Development Agreement.
2. The proposed hotel structure, as conditioned, is consistent with the Snyderville Basin General Plan, as amended.
3. The use is not detrimental to public health, safety and welfare, as the roads and public services in the area are sufficient to accommodate the increase in intensity of the use.
4. The use is compatible with the existing neighborhood character and will not adversely affect surrounding land uses.

**Conditions of Approval:**

1. Staff shall review and approve all final landscaping plans for the site; including plant type, size, number, location and method of irrigation and verify that they are in compliance with the Canyons Development Agreement and the Snyderville Basin Development Code.
2. The Staff shall review and approve the lighting plan for the site; including building, parking area, and street fixture type, number, location and cut sheets, and photometric information for complete compliance with Section 4.22 of the Code, prior to issuance of a building permit.
3. Staff shall review and approve any signage associated with the project prior to installation.
4. Verification from Talisman verifying the sizing of the detention basin and sufficient capacity with snow storage use, prior to final approval.
5. The final site plan and condominium plat shall note the Village Open Space as shown on the Land Use Map. This area shall only be used for passive and active recreational use.
6. The required 50' landscape buffer shall also be appropriately shown on the final site plan and condominium plat.
7. A note shall be placed on the Condominium Plat and Final Site Plan stating that only 25,000 sf of hotel/lodging use may be located in the Weight Townhouse Subdivision, with the remaining excess vested density available for transfer to another site within the Canyons Specially Planned Area in accordance with the Canyons DA, per the adopted Findings of Fact and Conclusions of Law, dated December 12, 2023.
8. Appropriate notes shall be included on the final site plan and condominium plat clearly demonstrating the project was approved utilizing hotel/lodging density and must comply with the hotel lodging attributes outlined in the Canyons DA. The structures shall not qualify for primary residency, the project shall be operated by the Hyatt Centric and will be included in the central reservations system, check-in at the hotel, the units will include commonly metered utilities and access to the hotels amenities.
9. The development parcel may not be gated.
10. A detailed Development Improvement Agreement (DIA) shall be submitted to and

approved by the County Engineer, along with sufficient bonding for all infrastructure improvements, common area improvements, landscaping and re-vegetation. This plan must clearly denote the phasing plan for the project and triggers for landscaping and re-vegetation if the construction does not commence on the phases within the specific allotted time frame. This agreement shall be recorded concurrently with the final site plan, prior to issuance of any development permits. All necessary construction plan and inspections fees must be paid to the County Engineer, prior to issuance of any permits.

11. All service provider conditions shall be met to the provider's satisfaction, prior to issuance of any development permits.
12. The Final Site Plan and associated Condominium Plat for the Elevation Condominiums must be approved and recorded prior to issuance of a any development permit.
13. The Summit County Attorney's Office shall review and approve the Final Site Plan, Condominium Plat and Condominium Declarations for consistency with the conditions of approval and terms of the Amended and Restated Canyons Development Agreement.
14. All outstanding DRC items shall be completed prior to final approval of the Final Site Plan or prior to the issuance of any permits, as outlined in the DRC recommendation letter.

## **Public Notice, Meetings and Comments**

This item has been scheduled for a public hearing and possible action with the County Manager. A public hearing notice has been published in the March 2, 2024, edition of the Park Record. A courtesy notice was sent to all property owners within 1,000 feet of the subject property. At the time of this report, Staff has received public input from an adjacent property owner **EXHIBIT E**.

## **Attachments**

- EXHIBIT A – Proposed Elevation Condominiums Final Site Plan & Condominium Plat
- EXHIBIT B - Weight Townhouse Subdivision Plat
- EXHIBIT C – Adopted Findings of Fact and Conclusions of Law, December 12, 2023
- EXHIBIT D - Canyons DRC Recommendation
- EXHIBIT E - Site Specific Design Guidelines – LUZ Map
- EXHIBIT F - Service Provider Comments
- EXHIBIT G - Sustainability Statement
- EXHIBIT H - Public comment – Michelle Cummings, via email dated March 13, 2024

# ELEVATION CONDOMINIUMS

## 2306 W. RED PINE RD.

### PARK CITY, UT 84098

LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN COUNTY OF SUMMIT, STATE OF UTAH



#### SHEET INDEX

**CIVIL**  
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 C-101 Existing Conditions & Topography  
 C-102 Grading Plan  
 C-103 Utility Plan  
 C-104 Construction Mitigation Plan  
 C-105 Storm Water Detention Plan

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 J2 - Primary Elevations  
 J3 - Primary Elevations  
 J4 - Site Section

**LANDSCAPE**  
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 LL-101 - Layout Details  
 LL-102 - Snow Storage  
 LL-103 - Lighting & Signage Plan  
 LP-100 - Landscape Plan  
 LP-601 - Landscape Details  
 LS-100 - Circulation & Connectivity Plan

**BUILDING A**  
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 AE-100 - Building A Floor Plan - Level 0  
 AE-101 - Building A Floor Plan - Level 1  
 AE-102 - Building A Floor Plan - Level 2  
 AE-103 - Building A Floor Plan - Roof Deck  
 AE-104 - Building A Floor Plan - Roof  
 AE-201 - Building A Elevation - North  
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 AE-203 - Building A Elevation - South  
 AE-204 - Building A Elevation - West  
 AE-301 - Building A Sections  
 AE-302 - Building A Sections  
 AE-303 - Building A Sections  
 AE-304 - Building A Sections  
 AE-305 - Building A Sections  
 AE-306 - Building A Sections

**PHOTOMETRICS**  
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 E101 - Overall Site Plan  
 E102 - Site Photometrics

**BUILDING B**  
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 AE-201 - Building B Elevation - North  
 AE-202 - Building B Elevation - East  
 AE-203 - Building B Elevation - South  
 AE-204a - Building Heights - Stories (Typical)  
 AE-204 - Building B Elevation - West  
 AE-301 - Building B Sections  
 AE-302 - Building B Sections  
 AE-303 - Building B Sections  
 AE-304 - Building B Sections  
 AE-305 - Building B Sections  
 AE-306 - Building B Sections

**BUILDING C**  
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 AE-100 - Building C Floor Plan - Level 0  
 AE-101 - Building C Floor Plan - Level 1  
 AE101a - Utility Building - Plans, Elevations, Sections  
 AE-102 - Building C Floor Plan - Level 2  
 AE-103 - Building C Floor Plan - Roof Deck  
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 AE-201 - Building C Elevation - North  
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 AE-204 - Building C Elevation - West  
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 AE-302 - Building C Sections  
 AE-303 - Building C Sections  
 AE-304 - Building C Sections  
 AE-305 - Building C Sections  
 AE-306 - Building C Sections

#### SURVEYORS CERTIFICATE

I, Michael Demkowicz, do hereby certify that I am a Professional Land Surveyor and that I hold License No. 4857264 as prescribed by the laws of the State of Utah, and that I have caused to be made under my direction and by the authority of the owner, CPD THPC LLC, a Delaware limited liability company, in accordance with the provisions of the Utah Condominium Ownership Act. I further certify that the information shown hereon is correct.

#### LEGAL DESCRIPTION

Parcel 1:

Lot 1, of that certain plat entitled "Weight Townhouse Subdivision", which plat was filed in the Office of the Recorder of the County of Summit, State of Utah on February 26, 2013 as Entry No. 964263.

Parcel 2:

Together with and subject to an undivided interest in a perpetual right-of-way and easement for roadway purposes and for the construction, alteration, maintenance and repair of underground utilities including water, electrical power, telephone and natural gas, fifty (50) feet in width, twenty-five (25) on either side of the following described center line:

Beginning at a point in the south line of a county road which is 1253 feet North and 750 feet West from the northeast corner of Section 1, Township 2 South, Range 3 East, Salt Lake Base and Meridian, and running thence South 680.6 feet; thence South 10°00' East 355 feet; thence 1,112.96 feet along the arc of a 636.62 foot radius curve to the right; thence West 881 feet.



ELLIOTT WORKGROUP, LLC

1441 West Ute Blvd, Suite 100  
 Park City, Utah 84098  
 435-649-0092 or 801-415-1839  
 elliotworkgroup.com



Columbus Pacific Development LLC

#### Elevation Condominiums

2306 W. Red Pine Rd.  
 Park City, UT 84098



Rev. Date Description

**OWNER'S DEDICATION AND CONSENT TO RECORD**

KNOW ALL MEN BY THESE PRESENTS that CPD THPC LLC, a Delaware limited liability company, the undersigned owner of the herein described tract of land, and hereby the same is divided into Condominium Parcels, together with easements, if any, as set forth on the Site Plan, hereafter to be known as \_\_\_\_\_

Also, said Owner, hereby dedicates to Summit County, Snyderville Basin Water Reclamation District, Summit Water Distribution Company and Park City Fire District, a non-exclusive easement of the utility easements as shown on this Plat, if any, for the purpose of providing access for utility installations, maintenance, use and eventual replacement.

Also, the Property is subject to the terms of the Declaration of Condominium, and Declaration of Covenants, Conditions and Restrictions, and Bylaws of \_\_\_\_\_ a Utah Condominium Plat recorded in the office of the Summit County Recorder, Summit County, Utah.

By: \_\_\_\_\_  
 Its: Authorized Representative

**ACKNOWLEDGMENT**

STATE OF UTAH )  
 ) ss.  
 COUNTY OF SUMMIT )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2023, personally appeared before me, Tony Tyler, who being by me duly sworn did say that he is the authorized representative of CPD THPC LLC, a Delaware limited liability company, and that he signed the above Owner's Dedication and Consent to Record for, on and in behalf of CPD THPC LLC, a Delaware limited liability company.

By: \_\_\_\_\_  
 Notary Public

Printed Name \_\_\_\_\_  
 Residing in: \_\_\_\_\_  
 My Commission Expires: \_\_\_\_\_  
 Commission No.: \_\_\_\_\_

**COUNTY PLANNING COMMISSION**

APPROVED AND ACCEPTED BY SNYDERVILLE BASIN PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 COMMISSION CHAIR

**COUNTY ENGINEER**

I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE \_\_\_\_\_  
 SUMMIT COUNTY ENGINEER

**COUNTY TREASURER**

REVIEWED AND ACCEPTED BY THE SUMMIT COUNTY ASSESSOR THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 COUNTY ASSESSOR

**APPROVAL AS TO FORM**

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 SUMMIT COUNTY ATTORNEY

**PARK CITY FIRE DISTRICT**

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 PARK CITY FIRE SERVICE DISTRICT, FIRE MARSHAL

**PUBLIC SAFETY ANSWERING POINT APPROVAL**

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 SUMMIT COUNTY PUBLIC SAFETY ANSWERING POINT

**COUNTY MANAGER APPROVAL**

PRESENTED TO THE SUMMIT COUNTY MANAGER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024 AT WHICH TIME THIS MASTER PLAT WAS APPROVED AND ACCEPTED.

ON BEHALF OF THE SUMMIT COUNTY COUNCIL

BY \_\_\_\_\_  
 SUMMIT COUNTY MANAGER

**THE CANYONS RESORT VILLAGE ASSOCIATION INC.**

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 AUTHORIZED REPRESENTATIVE

**SUMMIT WATER DISTRIBUTION COMPANY**

SUMMIT WATER DISTRIBUTION COMPANY WILL DELIVER WATER TO THE PLATTED LANDS AND THE PROPOSED LANDS PURSUANT WITH SUMMIT WATER DISTRIBUTION COMPANY'S ARTICLES OF INCORPORATION, RULES AND REGULATION, BYLAWS AND OTHER CORPORATE DOCUMENTS, AND PURSUANT TO THE DEVELOPMENT AGREEMENT BETWEEN SUMMIT WATER DISTRIBUTION COMPANY AND THE DEVELOPER.

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 SUMMIT WATER DISTRIBUTION COMPANY

**ROCKY MOUNTAIN POWER**

THE UTILITY EASEMENTS SHOWN HEREON HAVE BEEN APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 ROCKY MOUNTAIN POWER, A DIVISION OF PACIFICORP., AUTHORIZED AGENT

**DOMINION ENERGY COMPANY**

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**SNYDERVILLE BASIN WATER RECLAMATION DISTRICT**

REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 ENGINEERING DEPARTMENT

**SNYDERVILLE BASIN SPECIAL RECREATION DISTRICT**

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024

BY \_\_\_\_\_  
 AUTHORIZED REPRESENTATIVE

ISSUE DATE: 2023.06.06  
 OWNER PROJECT NO: 07-11-20  
 CONTRACT NO: \_\_\_\_\_  
 DRAWN BY: JACOB BETZER  
 CHECKED BY: MICHAEL DEMKOWICZ  
 DESIGNED BY: JACOB BETZER  
 EWG PROJECT NO: 2019-58  
 COPYRIGHT: Elliott Workgroup Architecture, LLC, 2022

SHEET TITLE

**COVER SHEET**

**SHEET 1 OF 7**

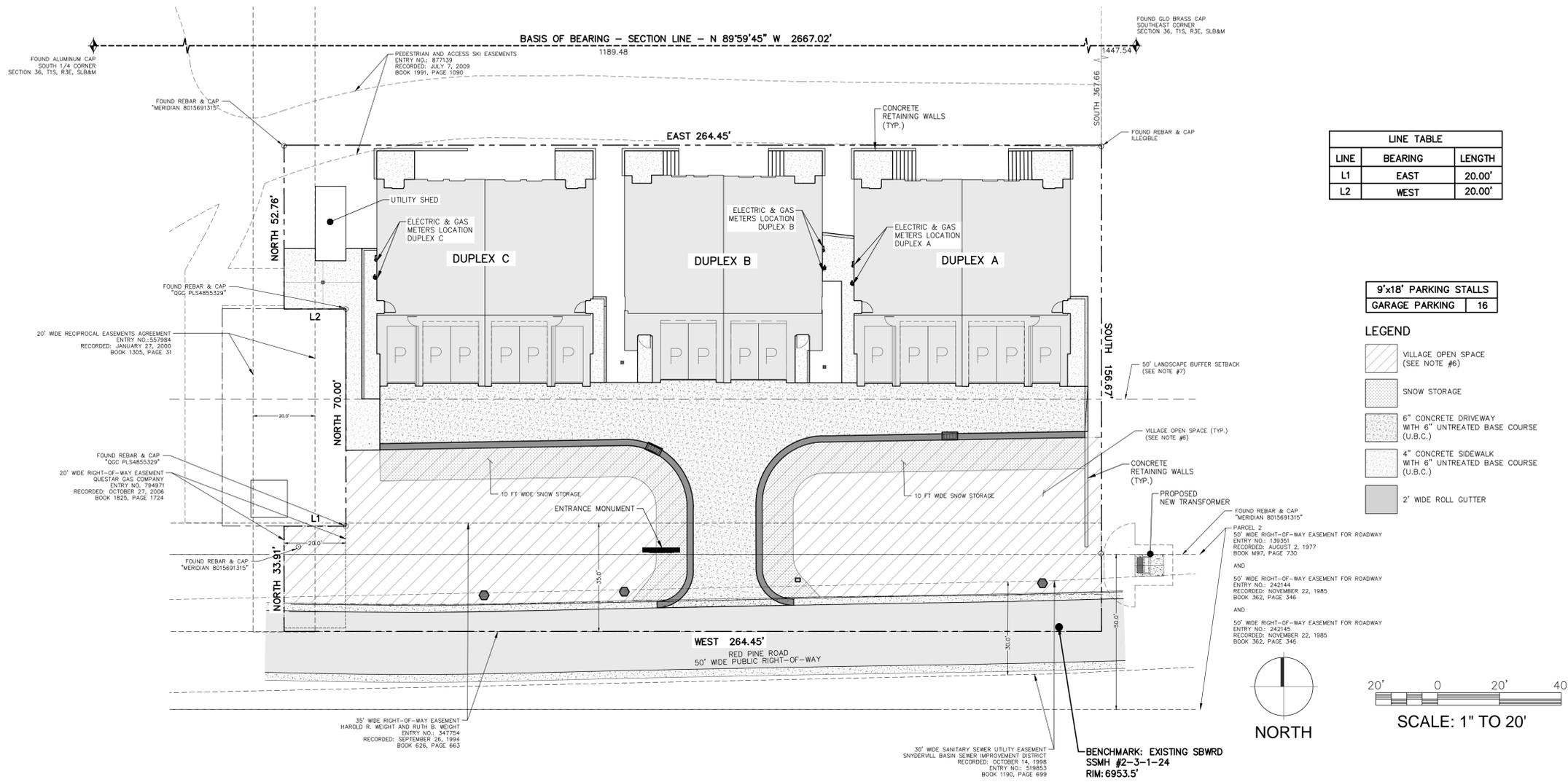
**RECORDED #**

STATE OF UTAH, COUNTY OF SUMMIT, AND FILED AT THE REQUEST OF \_\_\_\_\_

DATE: \_\_\_\_\_ TIME: \_\_\_\_\_

BOOK: \_\_\_\_\_ PAGE: \_\_\_\_\_

FEE: \_\_\_\_\_ ENTRY NO: \_\_\_\_\_



**ELLIOTT WORKGROUP, LLC**

1441 West Ute Blvd, Suite 100  
Park City, Utah 84098  
435-649-0092 or 801-415-1839  
elliottworkgroup.com



Columbus Pacific Development LLC  
**Elevation Condominiums**  
2306 W. Red Pine Rd.  
Park City, UT 84098



Rev.	Date	Description

ISSUE DATE: 2023.06.06  
OWNER PROJECT NO: 7-11-20  
CONTRACT NO: .  
DRAWN BY: .  
CHECKED BY: .  
DESIGNED BY: .  
EWG PROJECT NO: 2019-58  
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SHEET TITLE

FINAL SITE PLAN

**C-100**

**GENERAL NOTES**

- G-1 ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING PLANS & SPECIFICATIONS:
- S.B.W.R.D. Development Procedures, Design Standards and Construction Specifications, February 22, 2016 or latest edition.
  - Manual of Uniform Traffic Control Devices 2003 Edition, Revision #1 November 2004, Revision #2 December 2007.
  - Special conditions of approval and/or permits as required and/or issued by regulatory bodies.
  - Approved construction plans and details.
  - Storm Water Pollution Prevention Plan. (SWPPP)
- G-2 Contractor/Bidder shall obtain a copy of the specifications, at his cost. Copies of the specifications shall be kept at the job site by the contractor and be available for the contractor, subcontractor, owner or his agent, design engineer, county engineer, S.B.W.R.D. engineer, Summit County engineer, and their designated representatives and inspectors.
- G-3 The Contractor shall be responsible for ground and surface water control during construction. This requirement shall include, but not be limited to the installation of utilities, manholes, vaults, catch basins, earthwork operations, and road construction.
- G-4 The contractor shall maintain accurate records of "As Built" conditions of all underground work. The "As Builts" shall be tied to easily defined monuments and/or surface improvements or as required by accuracy for the as-built conditions. The as-built information shall be given to the owner and be incorporated in the final "As Built" drawings. Special as-built requirements for HDPE sewer mains are required per as outlined on the drawings.
- G-5 Prior to any excavation work, the contractor shall contact Blue Stakes for location of existing utilities. The contractor shall be responsible for determining the location of utilities, whether shown on the plans or not, and protecting the utilities during construction. If existing utility lines conflict in location with new construction, the contractor shall notify the engineer in order to resolve the conflict.
- G-6 The contractor shall have a qualified representative to handle grade determination, drainage flow, and connections to existing features using proper grade setting techniques such as, but not limited to, string line, rod and level, GPS, or Surveying.
- G-7 All work performed shall be guaranteed by the contractor and/or his surety against all defects in materials and workmanship of whatever nature for a period of one (1) year from the date of final acceptance of the work by the project owner.
- G-8 The contractor shall be responsible for the installation and maintenance of adequate signs, traffic devices, and warning devices to inform and protect the public during all phases of construction. The contractor shall submit to the Owner and Design Engineer for approval.
- G-9 Compaction testing shall be an integral part of the project. Compaction testing shall include, but shall not be limited to earthwork, trench back-fill, base course, and asphalt pavement. Compaction testing shall be performed by a qualified, independent testing company retained by the contractor.

JOB NO. 07-11-20 | FILE PATH: X:\Canyons\LD\p\wg\Weight\Townhouse Sub\071120-civil



- NOTES:**
- EXISTING VEGETATION CONSISTS OF NATIVE SCRUB OAK, ASPEN TREES AND CONIFEROUS TREES.
  - SUBJECT PROPERTY CONTAINS TWO MAIN SOIL TYPES: 12.5% (TYPE B) & 87.5% (TYPE C).
  - MAX SLOPE OF 15%-20%.

**ELLIOTT WORKGROUP, LLC**  
 1441 West Ute Blvd, Suite 100  
 Park City, Utah 84098  
 435-649-0092 or 801-415-1839  
 elliotworkgroup.com



Columbus Pacific Development LLC  
**Elevation Condominiums**  
 2306 W. Red Pine Rd.  
 Park City, UT 84098



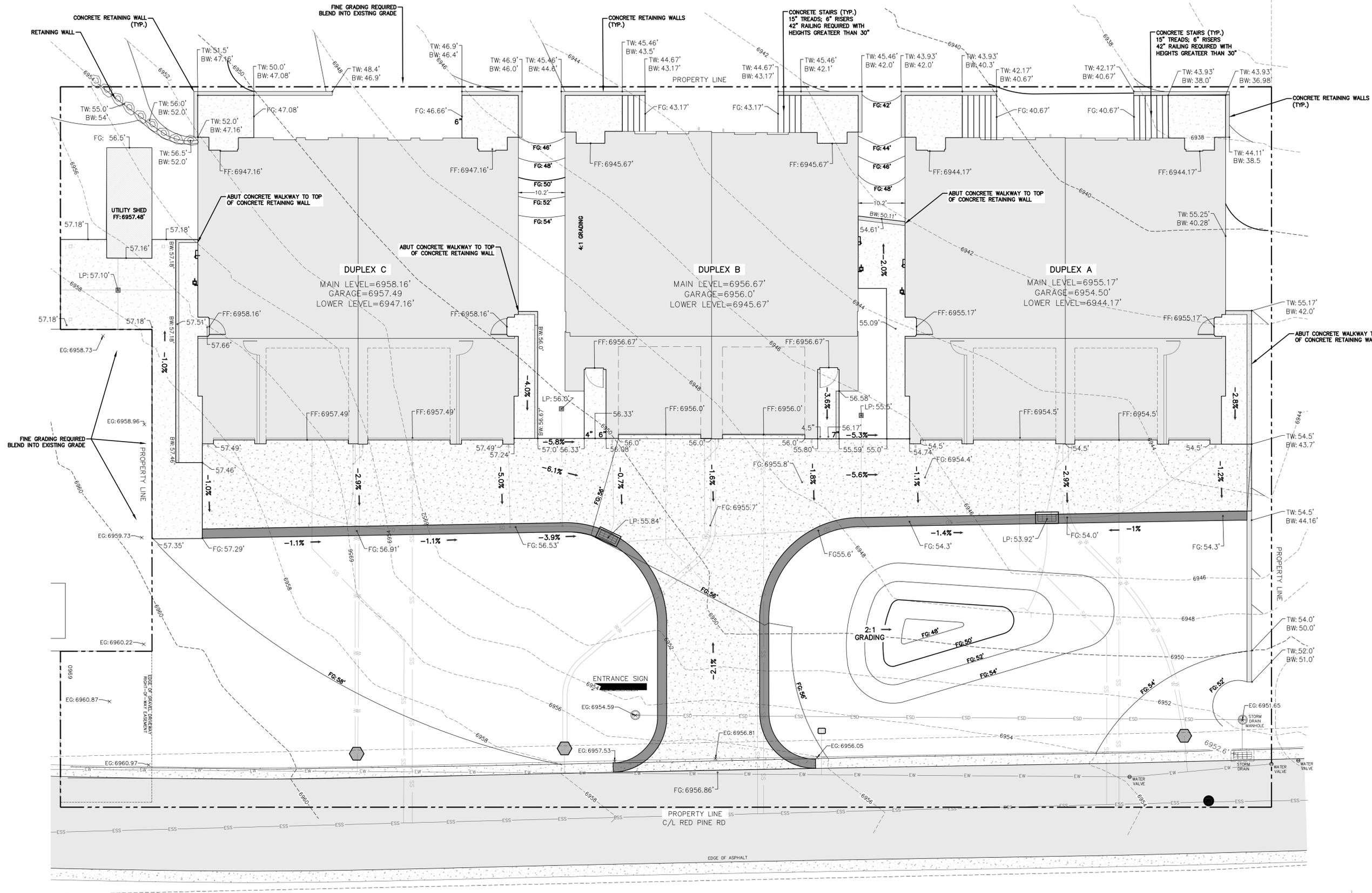
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**EXISTING CONDITIONS & TOPOGRAPHY**

**C-101**





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 Park City, Utah 84098  
 435-649-0092 or 801-415-1839  
 elliotworkgroup.com



(435) 649-9467-PHONE  
 (435) 649-9475-FAX  
**Alliance Engineering Inc.**  
 CONSULTING ENGINEERS LAND PLANNERS SURVEYORS  
 323 Main Street P.O. Box 2664 Park City, Utah 84060-2664

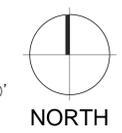
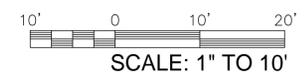
Columbus Pacific Development LLC  
**Elevation Condominiums**  
 2306 W. Red Pine Rd.  
 Park City, UT 84098



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SHEET TITLE  
**GRADING PLAN**



**C-102**



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 elliotworkgroup.com



Columbus Pacific Development LLC  
**Elevation Condominiums**  
 2306 W. Red Pine Rd.  
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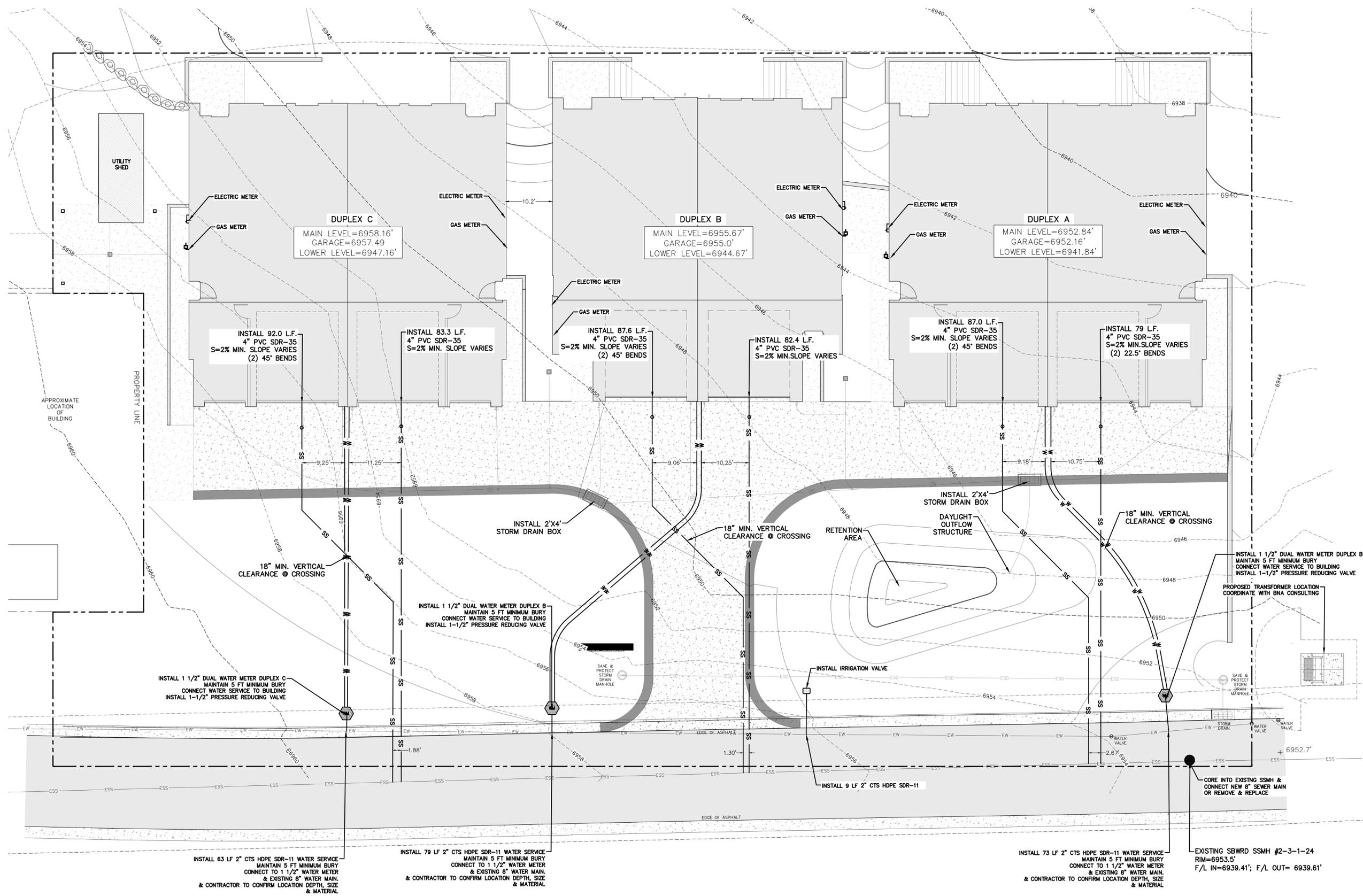


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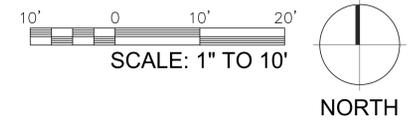
UTILITY PLAN:  
 WATER & SEWER

**C-103**



JOB NO. 07-11-20 | FILE PATH: X:\Canyons\LD\p\dwg\Weight Townhouse Sub\071120-civil

- NOTES:
1. CONFIRM WITH PLUMBING/MECHANICAL FOR ROOF DRAIN LOCATIONS.
  2. CONTRACTOR TO COORDINATE WITH DOMINION ENERGY & ROCKY MOUNTAIN POWER FOR GAS & POWER UTILITY CONNECTION. GAS & ELECTRIC METERS SHOWN ON PLAN.
  3. COORDINATE WITH BNA CONSULTING FOR ELECTRICAL OVERALL SITE PLAN.





ELLIOTT WORKGROUP, LLC

1441 West Ute Blvd, Suite 100  
Park City, Utah 84098  
435-649-0092 or 801-415-1839  
elliottworkgroup.com

(435) 649-9467—PHONE  
(435) 649-9475—FAX

**Alliance Engineering Inc.**

CONSULTING ENGINEERS LAND PLANNERS SURVEYORS  
323 Main Street P.O. Box 2664 Park City, Utah 84060-2664

Columbus Pacific Development LLC  
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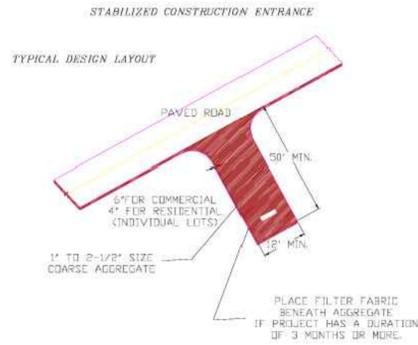
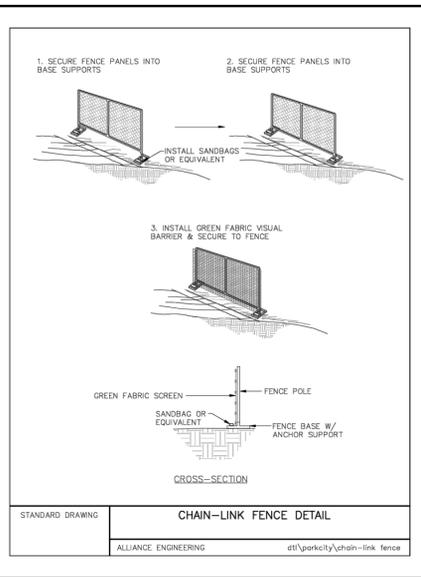
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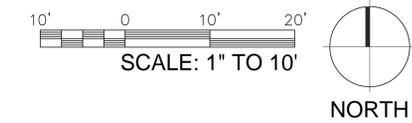
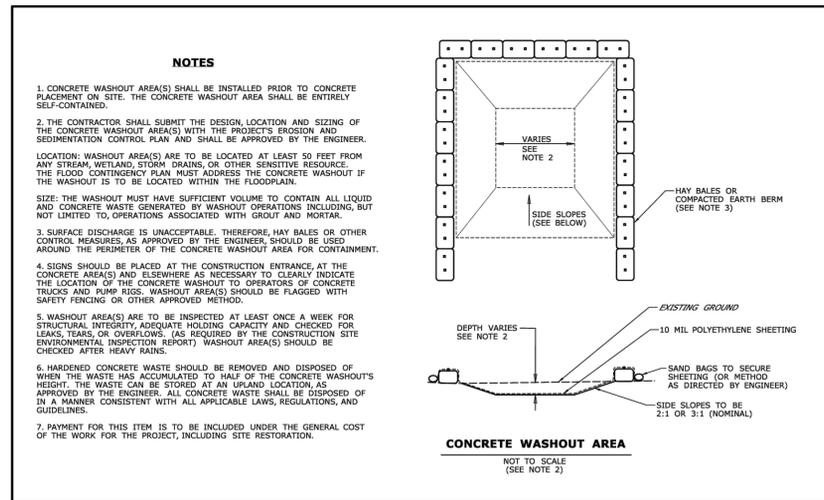
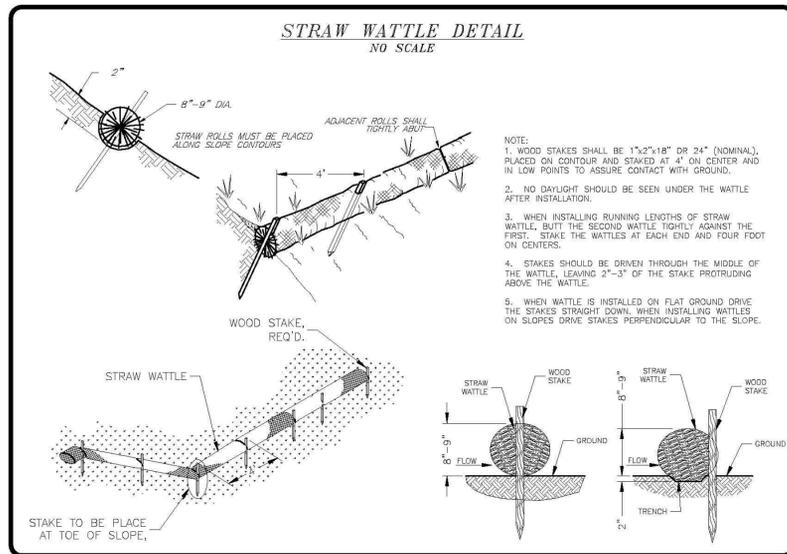
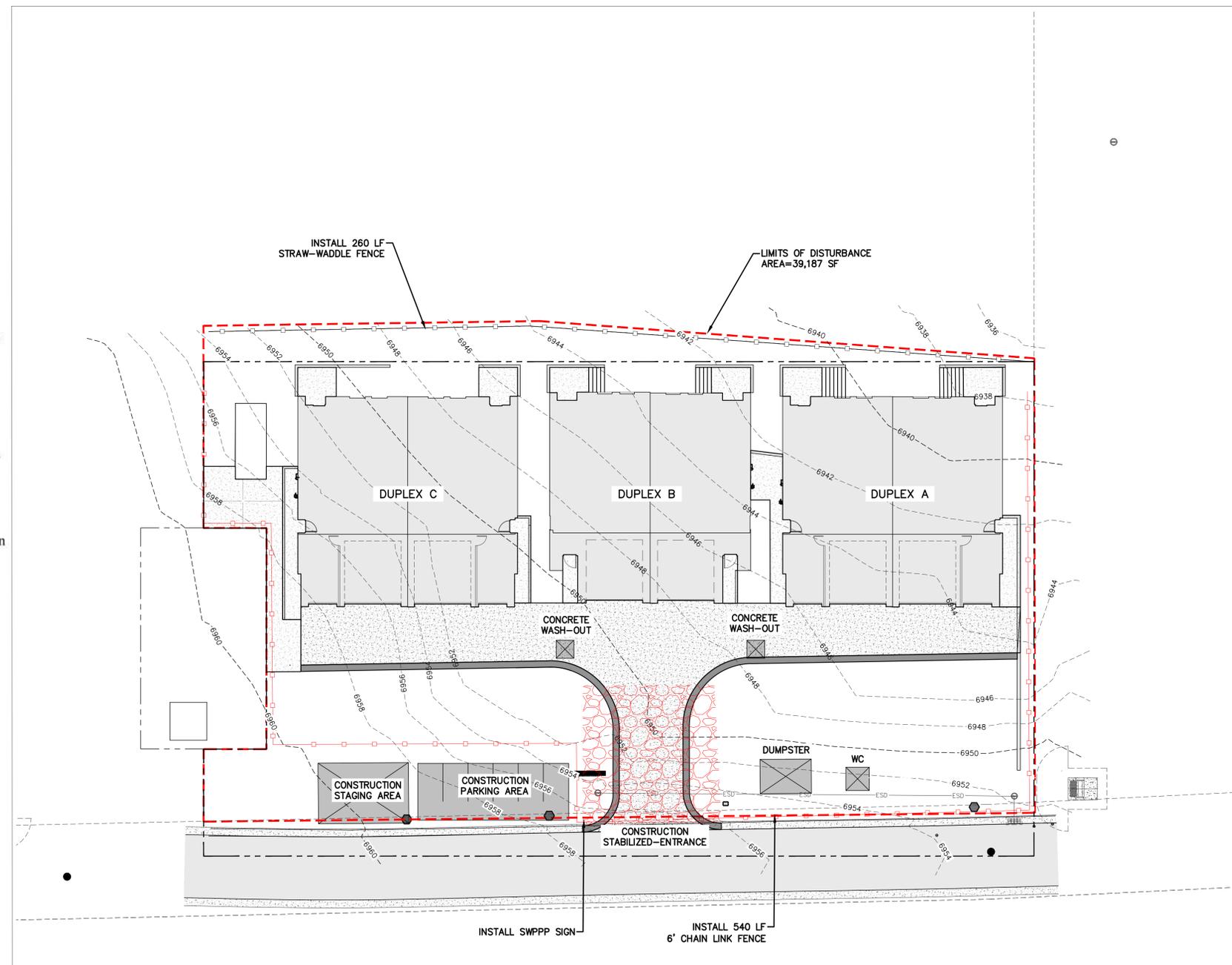
CONSTRUCTION MITIGATION PLAN

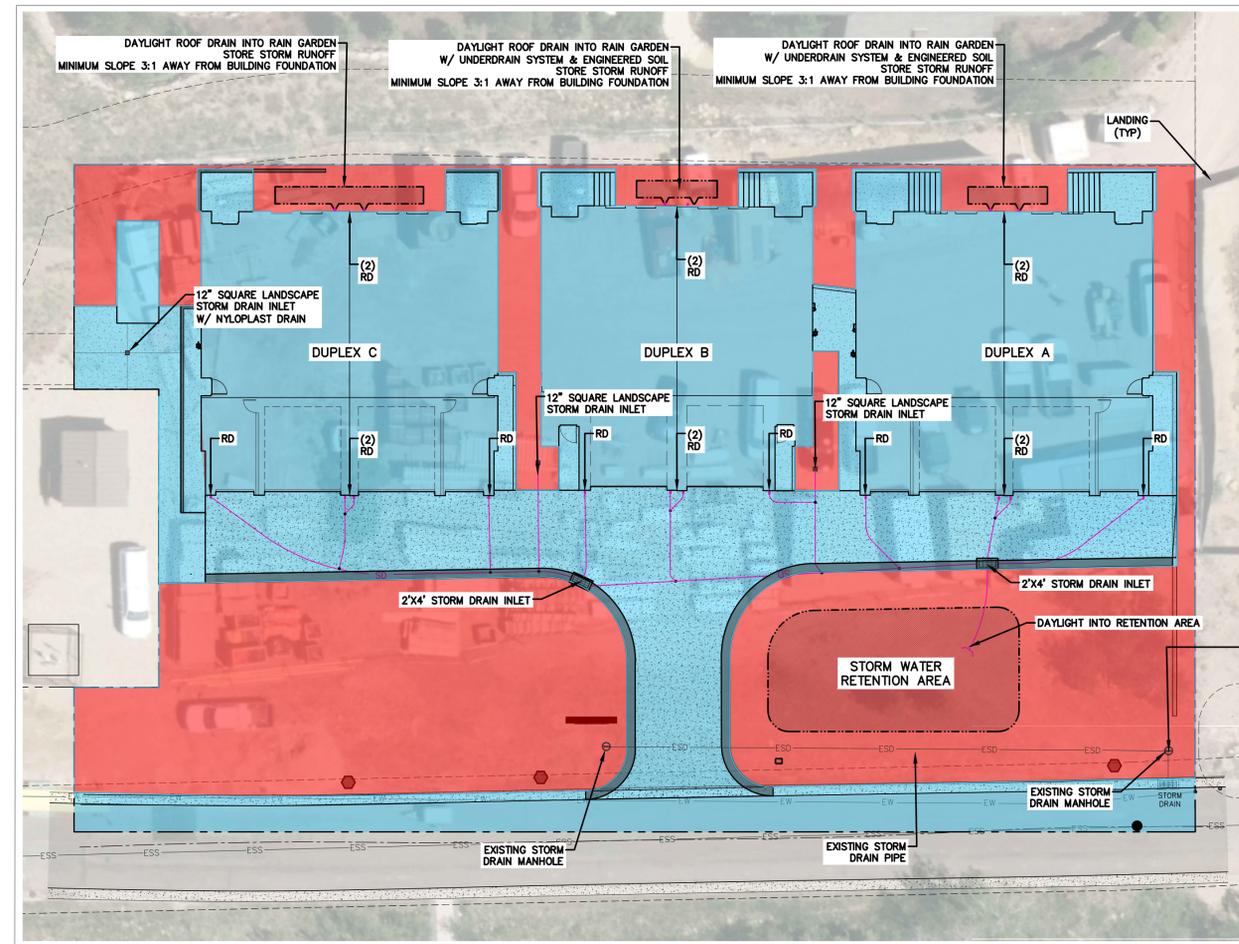
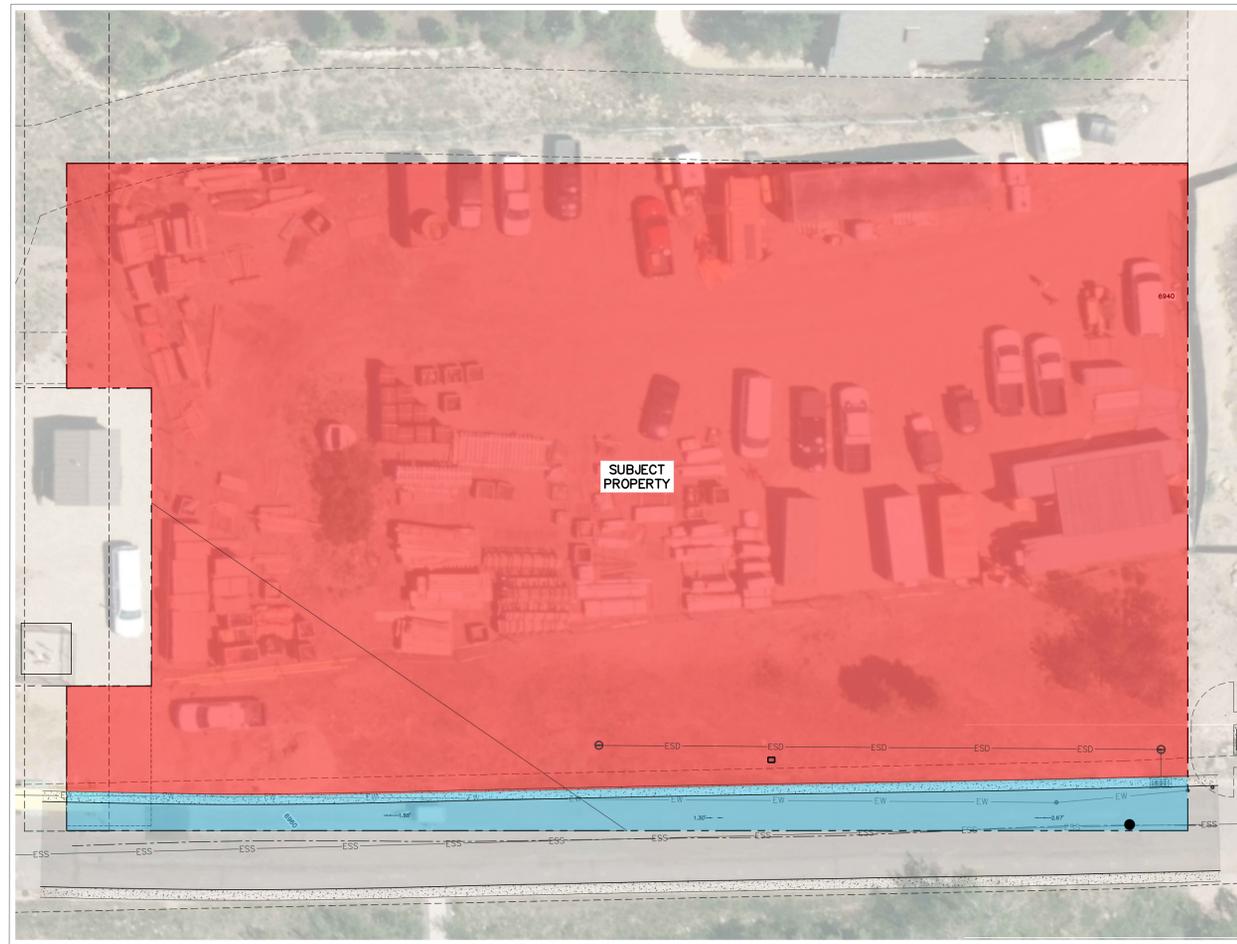
C-104



- INSTALLATION:**
1. Install at any point of ingress or egress at a construction site where adjacent traveled way is paved.
  2. Clear and grub area and grade to provide slope shown for driveway, or access/intersection. If adjacent to waterway, use a maximum slope of 2%.
  3. Compact subgrade and place filter fabric if required.
  4. Place coarse aggregate, 1 to 2 1/2 inches size, to a minimum depth of 6 inches for commercial projects, and 4 inches for residential projects.

- MAINTENANCE:**
1. Inspect daily for loss of gravel or sediment buildup.
  2. Inspect adjacent roadway for sediment deposit and clean by sweeping or shoveling.
  3. Repair entrance and replace gravel as required to maintain control in good working condition.
  4. Expand stabilized area as required to accommodate traffic, and off site street parking and prevent erosion at driveway.





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 Park City, Utah 84098  
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CONTRACTOR TO POT-HOLE & CONFIRM DEPTH & SIZE OF EXISTING STORM DRAIN PIPE. CONTRACTOR TO CONFIRM CLEARANCE WITH NEW WATER SERVICE & SEWER LATERAL.



Columbus Pacific Development LLC  
**Elevation Condominiums**  
 2306 W. Red Pine Rd.  
 Park City, UT 84098



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SHEET TITLE  
**STORM DRAIN UTILITY &  
 STORM WATER POLLUTION  
 PREVENTION PLAN**

**C-105**

**WATER QUALITY VOLUME CALCULATIONS  
 GRANATO METHOD:**

THE WATER QUALITY VOLUME, AS DESCRIBED IN ORDINANCE 381 AND 953, IS CALCULATED USING THE GRANATO METHOD, WHICH DETERMINES THE VOLUMETRIC RUN OFF COEFFICIENT AND USES AN 80TH PERCENTILE STORM EVENT OF 0.48 INCHES FOR SUMMIT COUNTY. FIGURE BELOW DETERMINES THE TOTAL DEVELOPABLE AREA FOR ELEVATIONS CONDOMINIUMS PROJECT.

DEVELOPABLE AREA: 37,364.98 SF  
 IMPERVIOUS AREA: 24,789.34 SF

EQUATION 1)  
 $R_v = 1.14 * (i) - 0.371$ ; when  $i \geq 0.55$   
 $R_v$  = VOLUMETRIC RUNOFF COEFFICIENT (UNITLESS)  
 $i$  = PERCENT IMPERVIOUSNESS (IN DECIMAL FORMAT)  
 $i = 24,789.34 \text{ SF} / 37,364.98 \text{ SF} = 0.6634$   
 $R_v = 1.14 * (0.6634) - 0.371 = 0.3853$

EQUATION 2)  
 $WQV = R_v * d * A$   
 $WQV$  = 80th PERCENT VOLUME (CF)  
 $d$  = 80th PERCENTILE PRECIPITATION DEPTH. FT (d=0.48 INCHES)  
 $A$  = PROJECT AREA  
 $WQV = (0.3853) * (0.04 \text{ FT}) * (37,364.98 \text{ SF})$

$WQV = 575 \text{ CF}$  PEAK RUNOFF VOLUME

**NOTES:**

1. PEAK RUNOFF VOLUME OF 575 CU. FT.
2. PROMOTE DRAINAGE TO ROOF-DRAINS AND 2'X4' STORM DRAIN INLETS AND CONNECT TO EXISTING STORM DRAIN SYSTEM. CONTRACTOR TO CONFIRM ROOF-DRAIN LOCATIONS FOR EACH DUPLEX.
3. EXISTING STORM DRAINS OUTLET INTO REGIONAL DETENTION SYSTEM.
4. PRE-DEVELOPMENT DISCHARGE CALCULATIONS WERE DETERMINED BY THE LOT'S NATURAL STATE TO ANALYZE PEAK RUN-OFF VOLUME REQUIREMENTS.

**From:** Tony Tyler <tony@cpdre.com>

**Sent:** Thursday, November 17, 2022 8:56 AM

**To:** Tiffanie Robinson <trobenson@summitcounty.org>; David Moyes <david@cpdre.com>; Brian Madacsi <bmadacsi@cvma.com>

**Subject:** Fwd: Weight Final Site Plan initial comments

Thanks Tiffanie!

Appreciate the comments - see our responses below, in **blue**. Let me know if you need anything else to complete the review for Planning Commission!

Cheers,

Tony

*For a faster response, please call or text: 435-640-5568*

**TONY TYLER**



----- Forwarded message -----

**From:** Tiffanie Robinson <trobenson@summitcounty.org>

**Date:** Thu, Nov 17, 2022 at 8:13 AM

**Subject:** Weight Final Site Plan initial comments

**To:** [tony@cpdre.com](mailto:tony@cpdre.com) <[tony@cpdre.com](mailto:tony@cpdre.com)>

Tony,

I am in receipt of your application for the Weight Townhomes final site plan and condominium plat. Prior to getting too far down the road in the review process, I have some items that need to be addressed.

**1)** The project appears to be designed as multi-family residential and the allowed use for the parcel is hotel/lodging. Therefore, it must meet the following requirements: - **Confirmed. The project is part of the Hyatt Centric, and will be operated similarly to the existing Hyatt condo/hotel - in other words, condominium owners will have access to the central reservations systems, will check-in through the central lobby area before going to the unit, will have commonly-metered utilities and access to the existing amenities in the Hyatt. I've responded to each component below, and the CVMA has previously confirmed that this structure is consistent with the hotel/lodging density in the Canyons SPA (copied Brian Madasci for clarity if needed).**

*“Hotel/Lodging Unit(s) means a unit which shall contain attributes of a hotel or facility established for similar purposes and which shall be available for short term occupancy by the unit owner or others. Attributes shall include”:*

Central reservation service for all units, including central check-in with full-time front desk service, bellhops, and concierge, operated by the owner/operator, a property management company chosen by the owners' association, or as a function of the owner's association; - **Confirmed that the project includes all of the above.**

Central access to the building, with no private entrances for individual units or wings, except in structures which include up to but not to exceed four dwelling units, unless otherwise approved by the Director; - **Confirmed. Each structure contains only two units and check-in is through the Hyatt lobby, not direct to the units.**

Pedestrian traffic funneled through a central lobby area, except in structures which include up to but not to exceed four dwelling units, unless otherwise approved by the Director; - **Confirmed. Each structure contains only two units and check-in is through the Hyatt lobby, not direct to the units.**

Centralized parking, with no assigned spaces, except in structures which include up to but not to exceed four dwelling units, unless otherwise approved by the Director; - **Confirmed. Each structure contains only two units.**

Utilities centrally controlled, including cable television, telephone, electricity, gas and water; and - **Confirmed.**

Limited storage area for owners. - **Confirmed. Limited storage provided for each unit owner.**

Kind Regards,



**Tiffanie N. Robinson, Planner**

Summit County Community Development

**Phone:** (435) 336-3139

**Email:** [trobinson@summitcounty.org](mailto:trobinson@summitcounty.org)

**Web:** [www.summitcounty.org](http://www.summitcounty.org)

**Address:** PO Box 128, 60 N. Main, Coalville, UT 84017





January 31, 2023

CPD THPC, LLC  
ATTN: Tony Tyler  
1389 Center Drive, Suite 230  
Park City, UT 84098

RE: Weight Condominium Hotel/Lodging Compatibility and Guest Access Narrative

Dear Tony,

The Weight Condominiums are planned to be incorporated into the existing management agreement with Hyatt Centric Park City, a part of the Escala Lodges family in the resort core at the Canyons Village. Once the Weight Condominiums are added to the agreement, the guests and owners of the condominium units on the Weight property will have similar rights, benefits and restrictions of the existing hotel operations. This includes access to hotel amenities, rental management agreements, signature rights at the restaurant, shop and ski rental facilities, and key card access to their unit. As part of the registration and check-in process, all guests, including owners, are required to follow the same procedures of the existing hotel operations, which includes primary check-in at the front desk prior to unit access.

Hyatt Centric Park City manages guest registration, key card distribution and the orientation process for all units within the property, including those that are not part of the rental program through Hyatt. This means that an owner who chooses not to rent their unit is still required to register and check-in on arrival pursuant to Hyatt's operating procedures. This central registration and access point is the primary access route for all guests to the Hyatt Centric Park City. Once the Weight Condominiums are incorporated in the agreement, this will also be the primary access for all guests and owners of the Weight Condominium units.

Please let me know if you have any further questions regarding the incorporation of Weight Condominiums into the Hyatt Centric Park City.

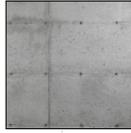
Sincerely,

Hyatt Centric Park City



2 North Elevation  
3/32" = 1'-0"

Material Legend

-  Architectural Concrete
-  Dry Stacked Light Gray Cut Stone Cladding
-  Dark Stained Cedar Fine Line Wood Siding
-  Matte Black Metal Trim and Cladding
-  Matte Black Aluminum Storefront
-  Matte Black Aluminum Clad Windows



1 South Elevation  
3/32" = 1'-0"

Grade Legend

-  Existing Grade
-  Revised Grade

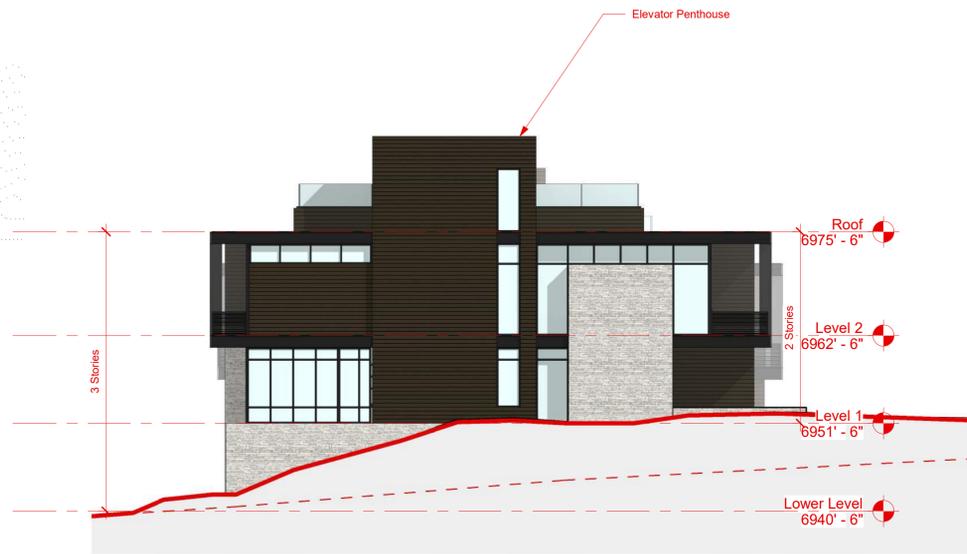
Preliminary Elevations

Hyatt Centric - Weight Parcel  
2021.06.23

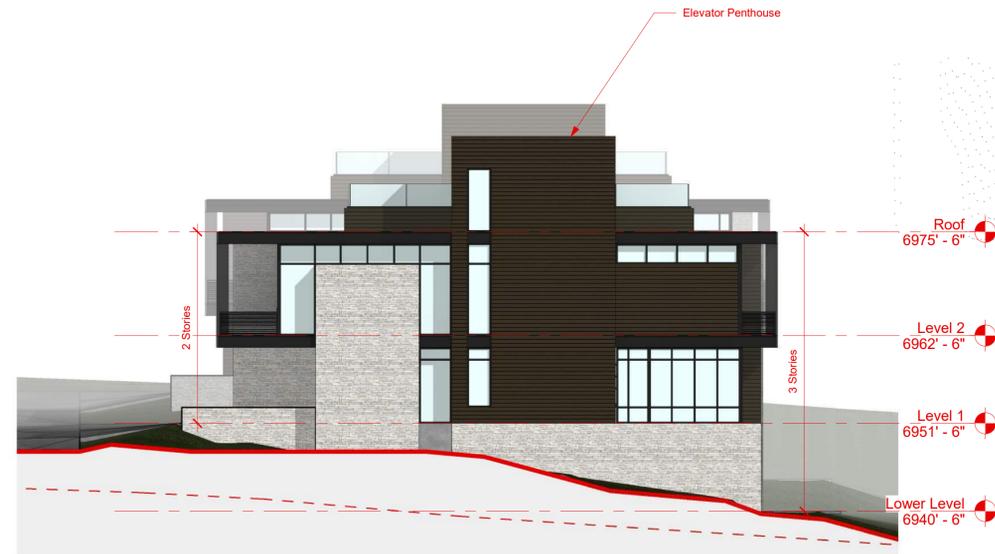
J1



EXHIBIT A-1



4 Duplex B West Elevation  
3/32" = 1'-0"



3 Duplex B East Elevation  
3/32" = 1'-0"



2 Duplex A West Elevation  
3/32" = 1'-0"



1 Duplex A East Elevation  
3/32" = 1'-0"

Material Legend

-  Architectural Concrete
-  Dry Stacked Light Gray Cut Stone Cladding
-  Dark Stained Cedar Fine Line Wood Siding
-  Matte Black Metal Trim and Cladding
-  Matte Black Aluminum Storefront
-  Matte Black Aluminum Clad Windows

Grade Legend

-  Existing Grade
-  Revised Grade

Preliminary Elevations

Hyatt Centric - Weight Parcel  
2021.06.23

J2



EXHIBIT A-2

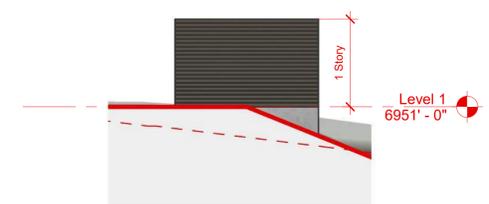
ELLIOTT WORKGROUP

Material Legend

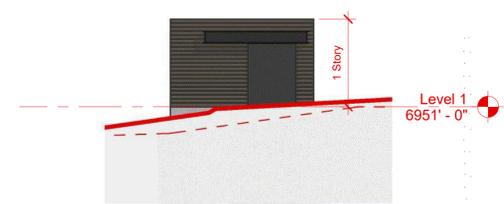
-  Architectural Concrete
-  Dry Stacked Light Gray Cut Stone Cladding
-  Dark Stained Cedar Fine Line Wood Siding
-  Matte Black Metal Trim and Cladding
-  Matte Black Aluminum Storefront
-  Matte Black Aluminum Clad Windows

Grade Legend

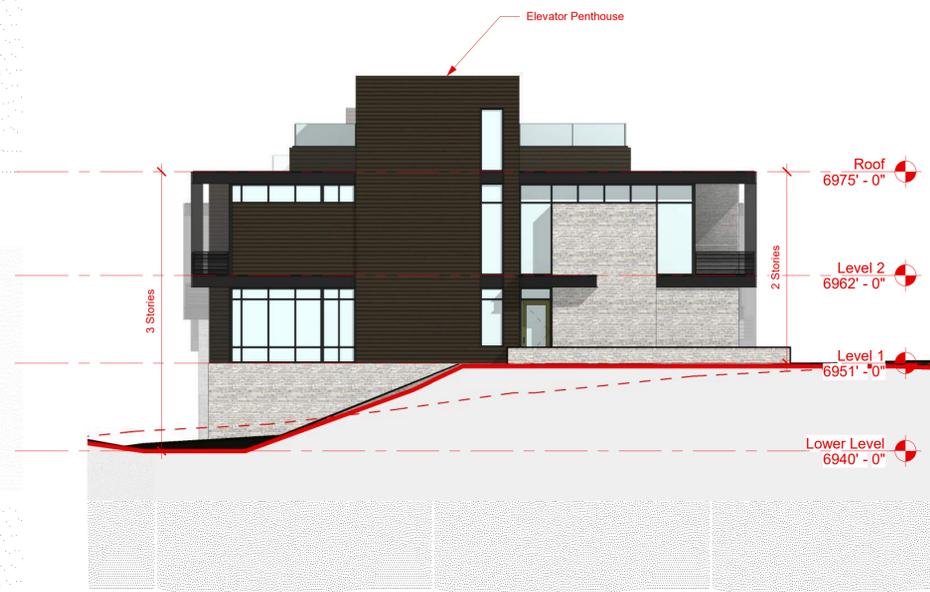
-  Existing Grade
-  Revised Grade



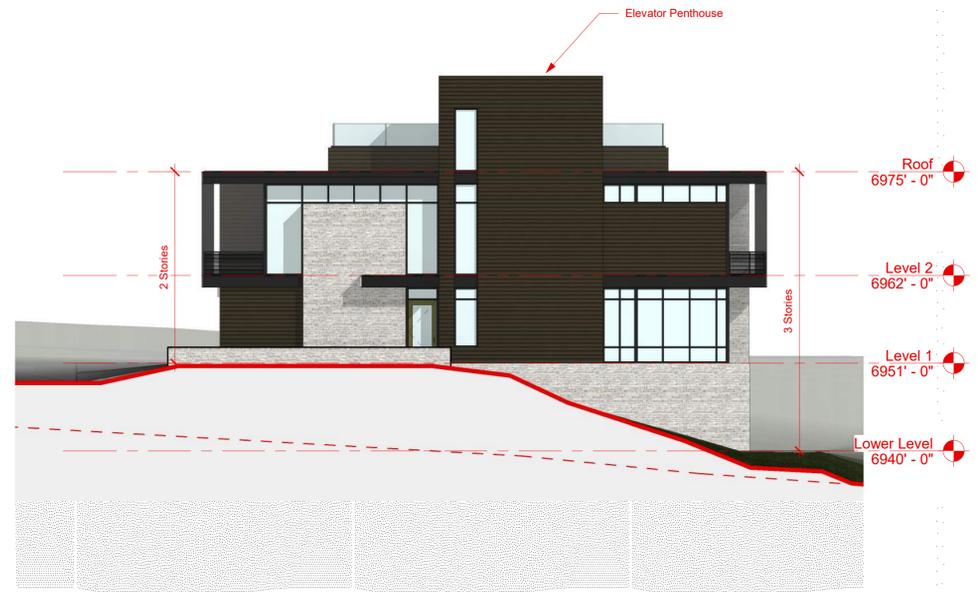
4 Utility Building West Elevation  
3/32" = 1'-0"



3 Utility Building East Elevation  
3/32" = 1'-0"



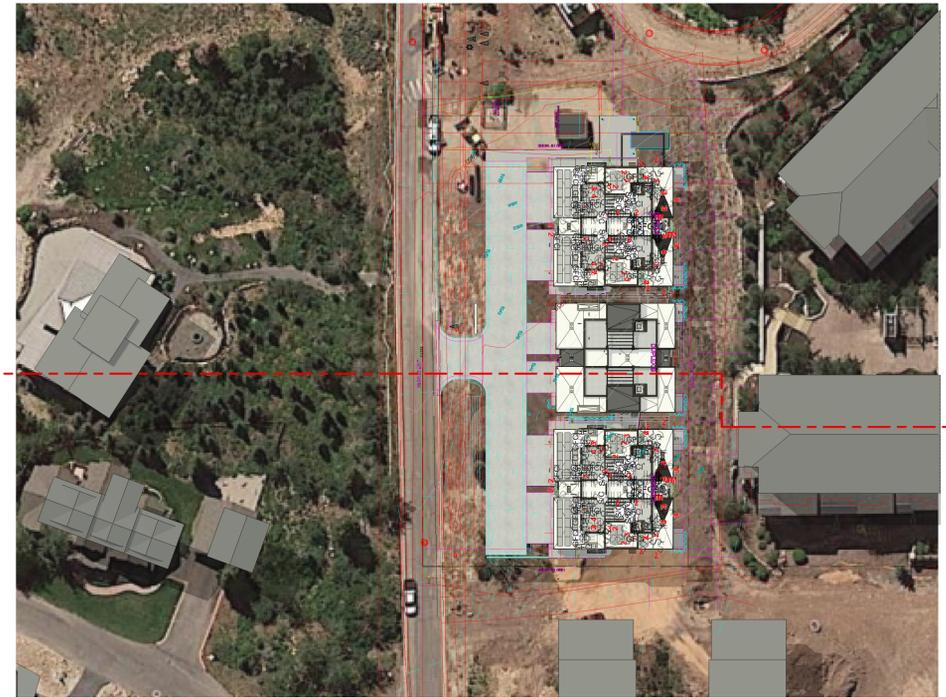
2 Duplex C West Elevation  
3/32" = 1'-0"



1 Duplex C East Elevation  
3/32" = 1'-0"

Preliminary Elevations

Hyatt Centric - Weight Parcel  
2021.06.23



2 Site Section Key Plan  
1" = 50'-0"



1 Site Section  
1/16" = 1'-0"

# Site Section

The Weight at Hyatt Centric  
2021.10.06

J4



ELLIOTT WORKGROUP

EXHIBIT A44



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Columbus Pacific Development LLC  
**Elevation at Canyons Village**  
 2306 W. Red Pine Rd.  
 Park City, UT 84098  
 Final Site Plan Package

Rev.	Date	Description

ISSUE DATE: 2023.08.10  
 OWNER PROJECT NO.:  
 CONTRACT NO.:  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 DESIGNED BY: Designer  
 EWG PROJECT NO.: 2019.58  
 COPYRIGHT: Elliott Workgroup, LLC  
 SHEET TITLE

**Layout & Materials Plan**

**LL-100**

**SIGN SCHEDULE**

SYMBOL	DESCRIPTION
—	BUILDING SIGN

**LIGHTING SCHEDULE**

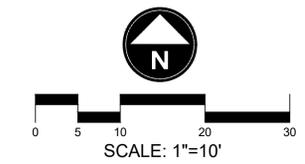
SYMBOL	DESCRIPTION
●	BOLLARD LIGHT
⚡	BUILDING WALL SCONCE (SEE ARCH)

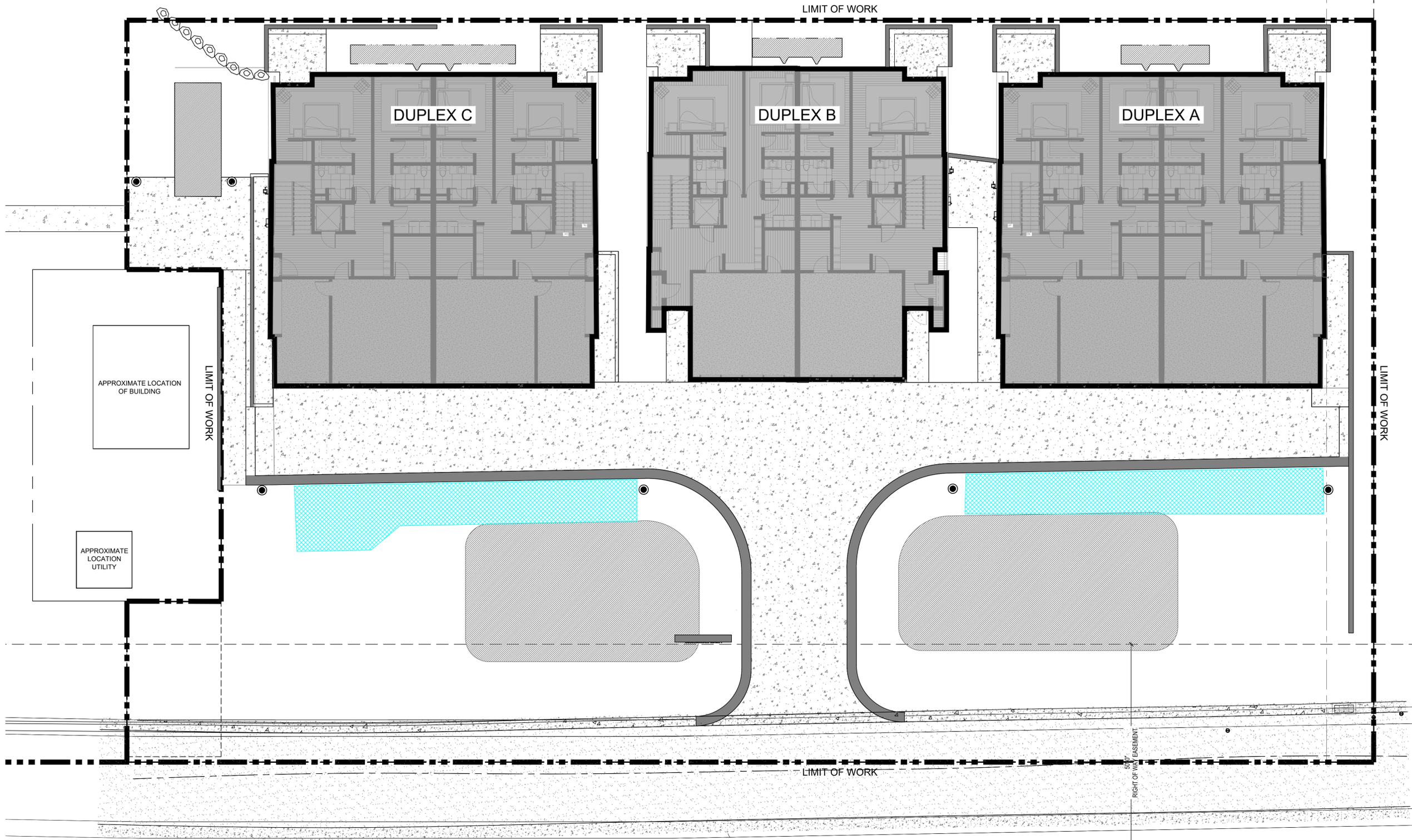
**LAYOUT AND MATERIALS SCHEDULE**

SYMBOL	DESCRIPTION
1	CONCRETE PATIO, TYP.
2	AMENITIES SHED
3	CONCRETE WALL, TYP. (SEE DETAIL)
4	CONCRETE SIDEWALK WITH THICKENED EDGE (SEE DETAIL)
5	CONCRETE DRIVEWAY (SEE DETAIL)
6	CONCRETE SIDEWALK (SEE DETAIL)
7	LIGHT BOLLARD (SEE DETAIL)
8	CONCRETE CURB (SEE CIVIL)
9	SIDEWALK ON TOP OF CONCRETE WALL (SEE DETAIL)
10	ENTRY/MONUMENT SIGN
11	RETAINING WALL (SEE CIVIL)
12	STORM DRAIN UNIT (SEE CIVIL)
13	GUARDRAIL (SEE ARCHITECTURE PLANS)
14	ROCK RETAINING WALL (SEE DETAIL)

SYMBOL	DESCRIPTION
1	CONCRETE SIDEWALK, TYP.
5	ASPHALT PAVING, TYP.

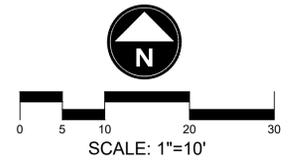
NOTE: Parking for the development will be located in the 2 or 3 car garages.





Snow Storage :

Total Parking & Drive Area: 5,850 S.F.  
 Total Snow Storage Area: 1,480 S.F. (25%)



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 Park City, Utah 84098  
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SHEET TITLE  
**Snow Storage Plan**

**LL-102**



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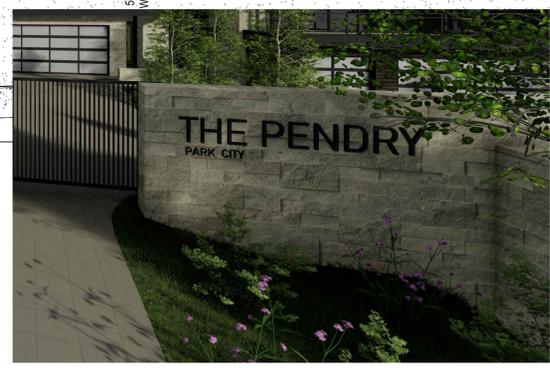
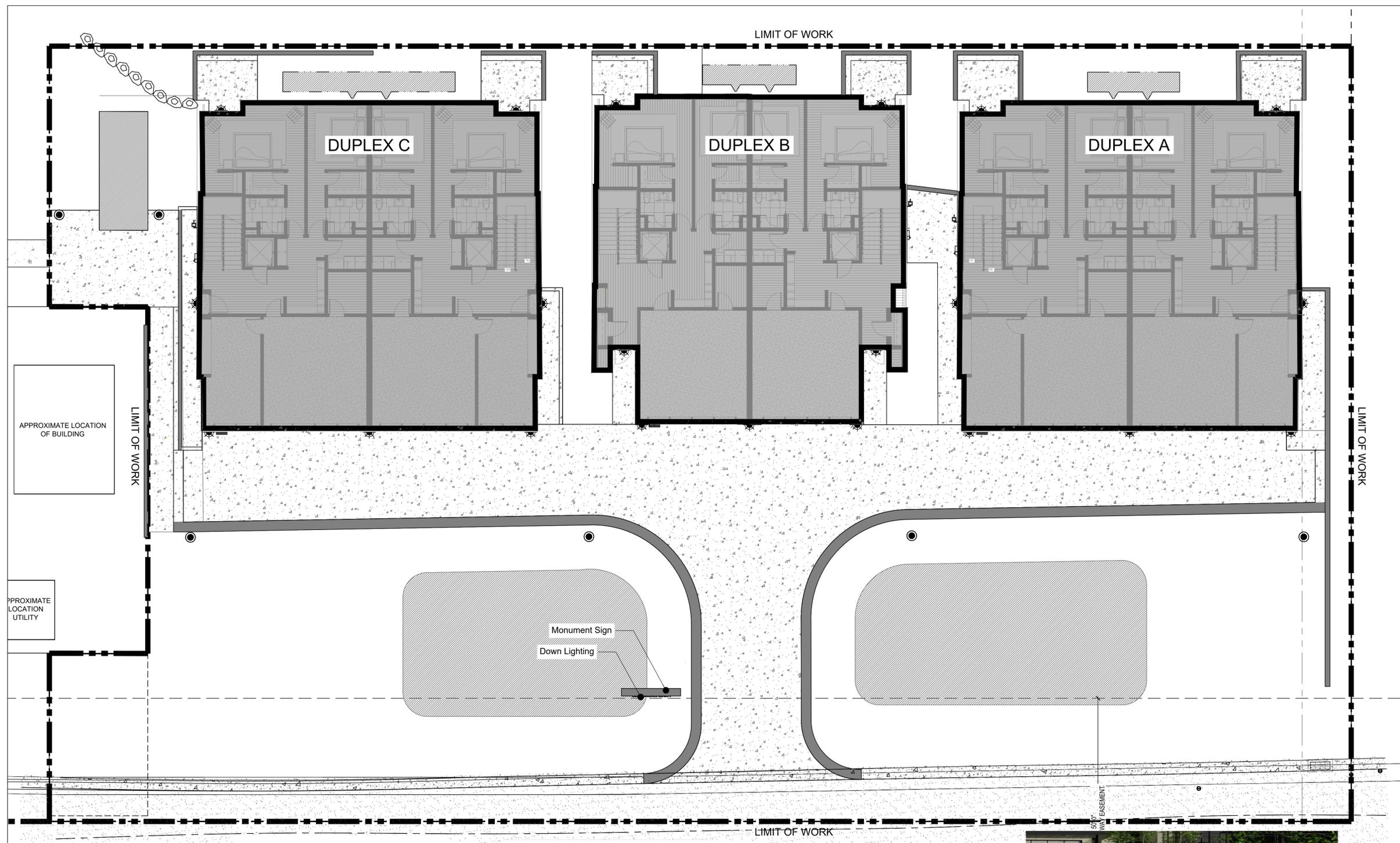
Columbus Pacific Development LLC  
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SHEET TITLE  
**Signage & Lighting Plan**

**LL-103**



**PARK 12V/120V/277V LED BOLLARD**  
 6641/6642/6643

**WAC LANDSCAPE LIGHTING**

Product Type:   
 Catalog Number:   
 Project:   
 Location:

**DESCRIPTION**  
 12V/120V/277V LED Bollard  
 1. Factory sealed water tight fixture  
 2. Housing made of aluminum  
 3. UL Listed, 100% Lead-Free (UL Listed 30000770)

**FINISHES**

Color	Code	Finish
Black	01	Black Powder Coat
White	02	White Powder Coat
Grey	03	Grey Powder Coat
Blue	04	Blue Powder Coat
Green	05	Green Powder Coat
Red	06	Red Powder Coat
Yellow	07	Yellow Powder Coat
Orange	08	Orange Powder Coat
Purple	09	Purple Powder Coat
Pink	10	Pink Powder Coat
Light Blue	11	Light Blue Powder Coat
Light Green	12	Light Green Powder Coat
Light Orange	13	Light Orange Powder Coat
Light Purple	14	Light Purple Powder Coat
Light Pink	15	Light Pink Powder Coat
Light Yellow	16	Light Yellow Powder Coat
Light Grey	17	Light Grey Powder Coat
Light Blue-Grey	18	Light Blue-Grey Powder Coat
Light Green-Grey	19	Light Green-Grey Powder Coat
Light Orange-Grey	20	Light Orange-Grey Powder Coat
Light Purple-Grey	21	Light Purple-Grey Powder Coat
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Light Yellow-Grey	23	Light Yellow-Grey Powder Coat
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Light Yellow-Grey	30	Light Yellow-Grey Powder Coat
Light Grey-Grey	31	Light Grey-Grey Powder Coat
Light Blue-Grey	32	Light Blue-Grey Powder Coat
Light Green-Grey	33	Light Green-Grey Powder Coat
Light Orange-Grey	34	Light Orange-Grey Powder Coat
Light Purple-Grey	35	Light Purple-Grey Powder Coat
Light Pink-Grey	36	Light Pink-Grey Powder Coat
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Light Blue-Grey	39	Light Blue-Grey Powder Coat
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Light Purple-Grey	42	Light Purple-Grey Powder Coat
Light Pink-Grey	43	Light Pink-Grey Powder Coat
Light Yellow-Grey	44	Light Yellow-Grey Powder Coat
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Light Green-Grey	68	Light Green-Grey Powder Coat
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Light Purple-Grey	70	Light Purple-Grey Powder Coat
Light Pink-Grey	71	Light Pink-Grey Powder Coat
Light Yellow-Grey	72	Light Yellow-Grey Powder Coat
Light Grey-Grey	73	Light Grey-Grey Powder Coat
Light Blue-Grey	74	Light Blue-Grey Powder Coat
Light Green-Grey	75	Light Green-Grey Powder Coat
Light Orange-Grey	76	Light Orange-Grey Powder Coat
Light Purple-Grey	77	Light Purple-Grey Powder Coat
Light Pink-Grey	78	Light Pink-Grey Powder Coat
Light Yellow-Grey	79	Light Yellow-Grey Powder Coat
Light Grey-Grey	80	Light Grey-Grey Powder Coat
Light Blue-Grey	81	Light Blue-Grey Powder Coat
Light Green-Grey	82	Light Green-Grey Powder Coat
Light Orange-Grey	83	Light Orange-Grey Powder Coat
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Light Blue-Grey	88	Light Blue-Grey Powder Coat
Light Green-Grey	89	Light Green-Grey Powder Coat
Light Orange-Grey	90	Light Orange-Grey Powder Coat
Light Purple-Grey	91	Light Purple-Grey Powder Coat
Light Pink-Grey	92	Light Pink-Grey Powder Coat
Light Yellow-Grey	93	Light Yellow-Grey Powder Coat
Light Grey-Grey	94	Light Grey-Grey Powder Coat
Light Blue-Grey	95	Light Blue-Grey Powder Coat
Light Green-Grey	96	Light Green-Grey Powder Coat
Light Orange-Grey	97	Light Orange-Grey Powder Coat
Light Purple-Grey	98	Light Purple-Grey Powder Coat
Light Pink-Grey	99	Light Pink-Grey Powder Coat
Light Yellow-Grey	100	Light Yellow-Grey Powder Coat

**6643 - BZ**  
 Example: 6643 BZ

**WAC LIGHTING**

**Archetype**  
 Outdoor Wall Sconce 3000K  
 6641/6642/6643

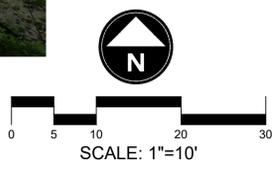
Product Type:   
 Catalog Number:   
 Project:   
 Location:

**DESCRIPTION**  
 Outdoor Wall Sconce 3000K  
 1. Factory sealed water tight fixture  
 2. Housing made of aluminum  
 3. UL Listed, 100% Lead-Free (UL Listed 30000770)

**FINISHES**

Color	Code	Finish
Black	01	Black Powder Coat
White	02	White Powder Coat
Grey	03	Grey Powder Coat
Blue	04	Blue Powder Coat
Green	05	Green Powder Coat
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Light Pink	15	Light Pink Powder Coat
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**6643 - BZ**  
 Example: 6643 BZ





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**Landscape Plan**

**LP-100**

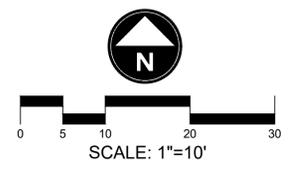
**PLANTING SCHEDULE**

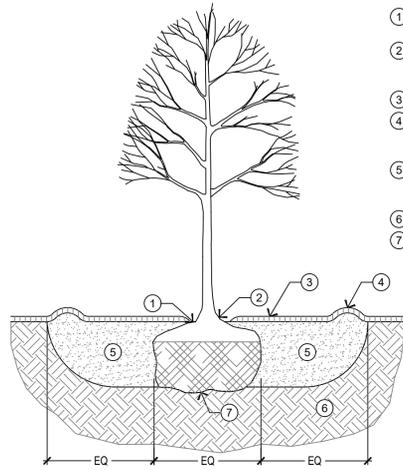
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	QTY.
<b>TREES</b>				
	<i>Acer glabrum</i>	Rocky Mountain Maple	2" Cal.	8
	<i>Acer grandidentatum</i>	Bigtooth Maple	2" Cal.	3
	<i>Picea pungens</i>	Colorado Blue Spruce	6 - 8' Tall	4
	<i>Populus tremuloides</i>	Quaking Aspen	2" Cal.	8
	<i>Populus tremuloides 'Erecta'</i>	Columnar Swedish Aspen	2" Cal.	7

<b>SHRUBS</b>				
	<i>Arctostaphylos x coloradoensis</i>	Mock Bearberry Manzanita	5 Gal.	28
	<i>Potentilla fruticosa</i>	Yellow Shrubby Cinquefoil	5 Gal.	34
	<i>Prunus besseyi 'Pawnee Buttes'</i>	Western Sand Cherry	5 Gal.	6
	<i>Rhus aromatica 'Gro-low'</i>	Fragrant Sumac	5 Gal.	37
	<i>Ribes alpinum 'Greenmound'</i>	Alpine Currant	5 Gal.	36
<b>GRASSES</b>				
	<i>Calamagrostis acutiflora 'Karl Forester'</i>	Feather Reed Grass	1 Gal.	25
	<i>Schizachyrium scoparium</i>	Little Blue Stem	1 Gal.	31
	Hydro Seed	Native Grass Mix		5,680 SQ. FT

<b>PERENNIALS - DIVIDE UP PLANTS EQUALLY, 24" O.C. TRIANGULAR SPACING</b>				1 Gal.	200
	<i>Aster alpinus</i>	Alpine Aster			
	<i>Campanula carpatica</i>	Bellflower			
	<i>Echinacea purpurea</i>	Purple Coneflower			
	<i>Gaillardia aristata 'Arizona Sun'</i>	Blanket Flower			
	<i>Heuchera 'Firefly'</i>	Coral Bells			
	<i>Oenothera missouriensis</i>	Missouri Evening Primrose			
	<i>Phlox subulata 'Drummond Pink'</i>	Creeping Phlox			
	<i>Rudbeckia x American Gold Rush</i>	Black Eyed Susan			
	<i>Salvia nemorosa 'May Night'</i>	Salvia			
	<i>Scabiosa columbaria 'Rose Pink'</i>	Pincushion Flower			
	Boulders (Color to be Determined)				

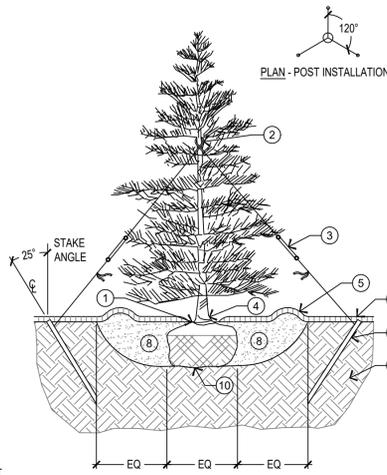
Notes: 1. All Planter Beds Shall be Covered in 4" Min. of Bark Mulch.  
 2. Placement of Trees to be Approved by Landscape Architect.





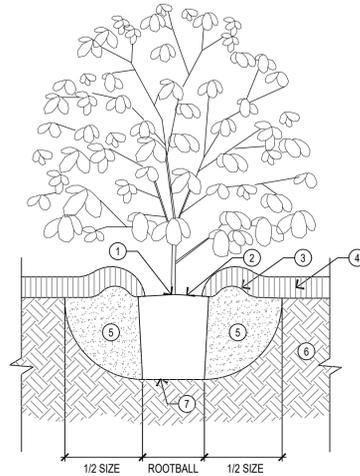
- 1 TOP OF ROOTBALL SHALL BE 1-2" ABOVE FINISHED GRADE
- 2 ROOT FLARE SHALL BE EXPOSED; MULCH SHOULD NOT BE WITHIN 4" OF TREE TRUNK
- 3 4" DEEP BARK MULCH
- 4 BERM TO FORM DEPRESSED WATERING BASIN. (TO BE REMOVED PRIOR TO END OF MAINTENANCE PERIOD.)
- 5 EXCAVATE HOLE TO DIAMETER 2X WIDER THAN ROOTBALL. BACKFILL WITH PLANTING SOIL MIX
- 6 UNDISTURBED SUBGRADE
- 7 PLACE BALL ON UNDISTURBED SUBSOIL

NOTES:  
 1. INSTALL TREE PLUMB  
 2. REMOVE ALL SYNTHETIC SOIL WRAPPING MATERIALS AND WIRE BASKET



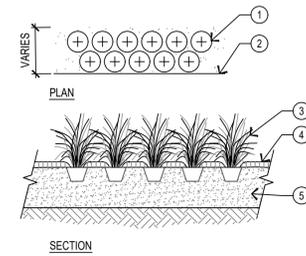
- 1 TOP OF ROOTBALL SHALL BE 1-2" ABOVE FINISHED GRADE
- 2 INSTALL 3 GUYS WIRE PER TREE, EQUALLY SPACED AROUND ROOTBALL. ATTACH 13 GAUGE GALV. MALLEABLE STEEL GUY WIRE 2/3 HEIGHT OF TREE IN REINFORCED RUBBER HOSE WITH CABLE CLAMPS. SECURE BY TWISTING TAUTLY.
- 3 GALVANIZED TRUNBUCKLES, 1 PER CABLE
- 4 ROOT FLARE SHALL BE EXPOSED; MULCH SHOULD NOT BE WITHIN 4" OF TREE TRUNK
- 5 BERM TO FORM DEPRESSED WATERING BASIN. (TO BE REMOVED PRIOR TO END OF MAINTENANCE PERIOD.)
- 6 4" DEEP BARK MULCH
- 7 (3) 2"x3"x4" FIR POST. ATTACH GALVANIZED MALLEABLE STEEL CABLE TO POST AND SECURE BY TWISTING TAUTLY. SET ANGLE OF POST AND GUY TO ENTER GROUND AT THE LIMIT OF THE SPREAD OF THE BOTTOM BRANCHES.
- 8 EXCAVATE HOLE TO DIAMETER 2X WIDER THAN ROOTBALL. BACKFILL WITH PLANTING SOIL MIX.
- 9 UNDISTURBED SUBGRADE
- 10 PLACE BALL ON UNDISTURBED SUBSOIL

NOTES:  
 1. INSTALL TREE PLUMB.  
 2. REMOVE ALL SYNTHETIC SOIL WRAPPING MATERIALS AND WIRE BASKET.  
 3. STAKES SHALL BE OUTSIDE THE TREE PIT.  
 4. MARK GUYING WIRES WITH SURVEYOR'S TAPE.



- 1 SET CROWN 2" HIGHER THAN FINISH GRADE TO ALLOW FOR SETTLING
- 2 ROOT FLARE SHALL BE EXPOSED. MULCH SHOULD BE WITHIN 4" OF SHRUB TRUNK
- 3 BERM TO FORM DEPRESSED WATERING BASIN. (TO BE REMOVED PRIOR TO END OF MAINTENANCE PERIOD.)
- 4 4" DEEP BARK MULCH
- 5 EXCAVATE HOLE TO DIAMETER 2X WIDER THAN ROOTBALL. BACKFILL WITH PLANTING SOIL MIX.
- 6 UNDISTURBED SUBGRADE
- 7 PLACE BALL ON UNDISTURBED SUBSOIL

NOTES:  
 1. PLACE BALL ON UNDISTURBED SUBSOIL  
 2. REMOVE ALL SYNTHETIC SOIL WRAPPING MATERIALS (TREATED BURLAP, NYLON TWINE, WIRE BASKETS, ETC.) AND DISCARD



- 1 SEE PLANT SCHEDULE LIST FOR SPACING
- 2 SEE PLAN FOR EDGE CONDITION
- 3 GRASSES (SEE PLANTING PLAN)
- 4 4" DEEP BARK MULCH
- 5 12" DEEP PLANTING MIX

ELLIOTT WORKGROUP, LLC

1441 West Ute Blvd, Suite 100  
 Park City, Utah 84098  
 435-649-0092 or 801-415-1839  
 elliotworkgroup.com

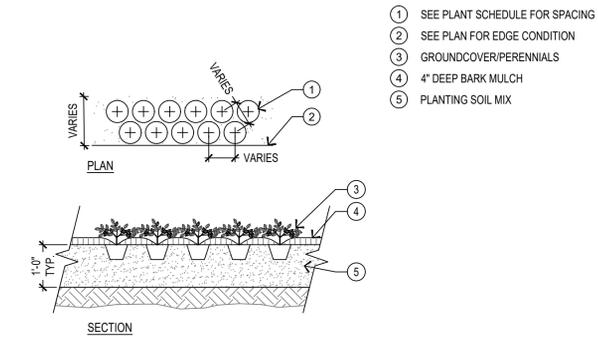


**1 DECIDUOUS TREE**  
 SCALE: NOT TO SCALE SECTION

**2 EVERGREEN TREE WITH GUYING SYSTEM**  
 SCALE: NOT TO SCALE SECTION

**3 SHRUB**  
 SCALE: NOT TO SCALE SECTION

**4 GRASSES**  
 SCALE: NOT TO SCALE SECTION/PLAN



- 1 SEE PLANT SCHEDULE FOR SPACING
- 2 SEE PLAN FOR EDGE CONDITION
- 3 GROUND COVER/PERENNIALS
- 4 4" DEEP BARK MULCH
- 5 PLANTING SOIL MIX

**5 GROUND COVER/PERENNIALS**  
 SCALE: NOT TO SCALE PLAN / SECTION

**PLANTING NOTES**

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON ALL DRAWINGS.
3. ALL PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN OR EQUIVALENT.
4. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE LANDSCAPE ARCHITECT OR EQUAL.
5. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE IN THE CONTAINER, B&B, OR IF TRANSPLANTED.
6. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT TIME OF PLANTING.
7. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
8. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR EQUAL.
9. AT PLANTING TIME, ALL PLANTS SHALL BE THINNED BY REMOVING A BALANCED ONE-THIRD OF THE VEGETATIVE MATERIAL. DO NOT CUT LEADERS.
10. ALL PLANTS SHALL BE SPRAYED WITH AN ANTI-DESSICANT WITHIN 24 HOURS AFTER PLANTING. ALL PLANTS SHALL BE SPRAYED WITH AN ANTI-DESSICANT AT THE BEGINNING OF THEIR FIRST WINTER.
11. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NEEDED AND SUGGESTED BY LOCAL CONDITIONS DURING THE FIRST GROWING SEASON.
12. AREAS TO BE SEEDED SHALL BE RAKED OF STONES AND DEBRIS. DEBRIS AND STONES OVER 1" IN DIAMETER SHALL BE REMOVED FROM THE SITE.
13. MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENT OF SICK OR DEAD PLANT MATERIAL, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL.
14. THE CONTRACTOR SHALL REVIEW ARCHITECTURAL/ENGINEERING PLANS TO BECOME FAMILIAR WITH GRADING AND SURFACE UTILITIES.
15. THE CONTRACTOR SHALL INSURE THAT HIS WORK DOES NOT INTERRUPT ESTABLISHED OR PROJECTED DRAINAGE PATTERNS.

16. THE CONTRACTOR SHALL COORDINATE WITH LIGHTING AND IRRIGATION CONTRACTORS REGARDING TIMING OF INSTALLATION OF PLANT MATERIAL.
17. EVERY POSSIBLE SAFEGUARD SHALL BE TAKEN TO PROTECT BUILDING SURFACES, EQUIPMENT AND FURNISHINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF NEGLIGENCE ON THE PART OF THE CONTRACTOR IN THE EXECUTION OF THE WORK.
18. ALL PROPOSED PLANT MATERIALS SHALL BE INSTALLED EITHER ENTIRELY IN OR ENTIRELY OUT OF PLANTING BEDS. PLANTING BED LINES ARE NOT TO BE OBSTRUCTED.
19. THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND PLUMB CONDITIONS OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS, IF DESIRED OR REQUESTED BY THE LANDSCAPE ARCHITECT, SHALL BE DONE UTILIZING A METHOD AGREED UPON BY THE LANDSCAPE ARCHITECT, AS INDICATED ON THE DOCUMENTS.
20. UPON COMPLETION OF ALL LANDSCAPING, AN INSPECTION FOR ACCEPTANCE OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
21. ALL TREES, SHRUBS, AND PERENNIALS SHALL BE GUARANTEED FOR 12 MONTHS FROM THE DATE OF ACCEPTANCE. REPLACEMENT PLANTS USED SHALL BE GUARANTEED FOR AN ADDITIONAL 90 DAYS.
22. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THE PLANS, THE PLANT SCHEDULE SHALL CONTROL. IMPROPER PLANT COUNT MADE BY THE CONTRACTOR SHALL BE NO CAUSE FOR ADDITIONAL COST TO THE OWNER. SOD QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING.
23. PERENNIALS TO BE PLANTED @ 24" O.C. IN CLUSTERS OF 3-10 PER SPECIES AS SPECIFIED ON PLAN. LANDSCAPE ARCHITECT SHALL VERIFY SITE PLACEMENT OF PLANTS BEFORE PLANTING BEGINS.
24. CONTRACTOR TO VERIFY QUANTITIES.
25. ALL PERENNIAL BEDS TO BE MULCHED WITH A MINIMUM OF 4" PINE BARK.
26. LANDSCAPE AREA WILL BE COVERED 100% BY EITHER DRIP OR SPRAY IRRIGATIONS. AN IRRIGATION PLAN WILL BE INCLUDED AS A DESIGN-BUILD CONTRACT AND WILL BE SUBMITTED AND APPROVED BY COUNTY PRIOR TO IRRIGATION AND PLANT MATERIAL INSTALLATION.
27. ALL MAINTAINED LANDSCAPE AREAS WILL BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM. AREAS DESIGNATED AS NON-IRRIGATED SHALL HAVE TEMPORARY SPRINKLERS INSTALLED UNTIL NATIVE GRASSES ARE ESTABLISHED.

**PLANTING SCHEDULE**

SYMBOL	SCIENTIFIC NAME	COMMON NAME
--------	-----------------	-------------

TREES		
	<i>Acer glabrum</i>	Rocky Mountain Maple
	<i>Acer grandidentatum</i>	Bigtooth Maple
	<i>Picea pungens</i>	Colorado Blue Spruce
	<i>Populus tremuloides</i>	Quaking Aspen
	<i>Populus tremuloides 'Erecta'</i>	Columnar Swedish Aspen
SHRUBS		
	<i>Arctostaphylos x coloradoensis</i>	Mock Bearberry Manzanita
	<i>Potentilla fruticosa</i>	Yellow Shrubby Cinquefoil
	<i>Prunus besseyi 'Pawnee Buttes'</i>	Western Sand Cherry
	<i>Rhus aromatica 'Gro-low'</i>	Fragrant Sumac
	<i>Ribes alpinum 'Greenmound'</i>	Alpine Currant
GRASSES		
	<i>Calamagrostis acutiflora 'Karl Forester'</i>	Feather Reed Grass
	<i>Schizachyrium scoparium</i>	Little Blue Stem
	Hydro Seed	Native Grass Mix

PERENNIALS - DIVIDE UP PLANTS EQUALLY, 24" O.C. TRIANGULAR SPACING		
	<i>Aster alpinus</i>	Alpine Aster
	<i>Campanula carpatica</i>	Bellflower
	<i>Echinacea purpurea</i>	Purple Coneflower
	<i>Gaillardia aristata 'Arizona Sun'</i>	Blanket Flower
	<i>Heuchera 'Firefly'</i>	Coral Bells
	<i>Oenothera missouriensis</i>	Missouri Evening Primrose
	<i>Phlox subulata 'Drummond Pink'</i>	Creeping Phlox
	<i>Rudbeckia x American Gold Rush</i>	Black Eyed Susan
	<i>Salvia nemorosa 'May Night'</i>	Salvia
	<i>Scabiosa columbaria 'Rose Pink'</i>	Pincushion Flower

Boulders (Color to be Determined)  
 Notes: 1. All Planter Beds Shall be Covered in 4" Min. of Bark Mulch.  
 2. Placement of Trees to be Approved by Landscape Architect.

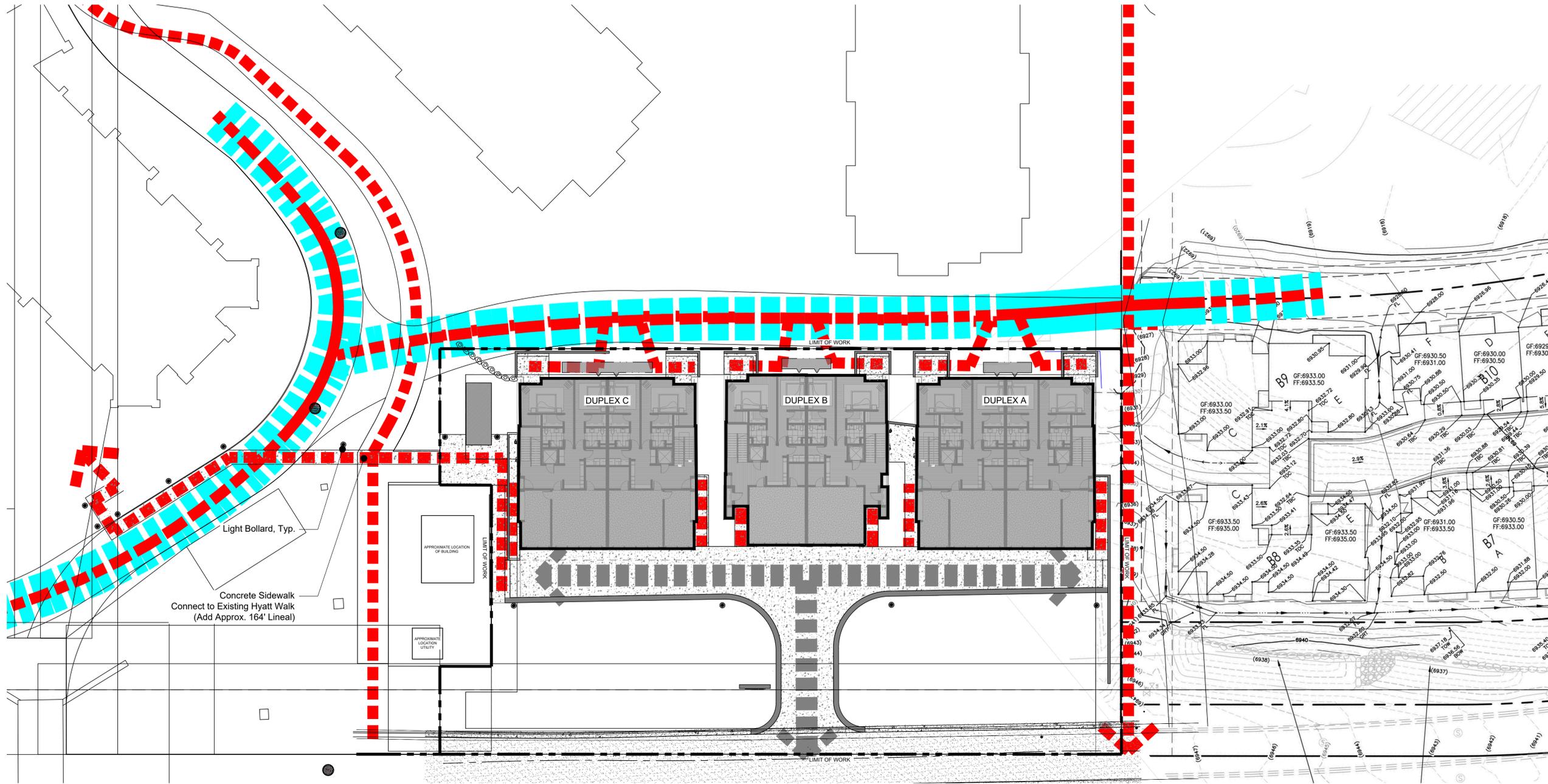
Columbus Pacific Development LLC  
**Elevation at Canyons Village**  
 2306 W. Red Pine Rd.  
 Park City, UT 84098  
 Final Site Plan Package

Rev.	Date	Description
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ISSUE DATE: 2023.08.10  
 OWNER PROJECT NO: .  
 CONTRACT NO: .  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 DESIGNED BY: Designer  
 EWG PROJECT NO: 2019.58  
 COPYRIGHT: Elliott Workgroup, LLC

SHEET TITLE  
**Landscape Details**

**LP-601**



ELLIOTT WORKGROUP, LLC  
 1441 West Ute Blvd, Suite 100  
 Park City, Utah 84098  
 435-649-0092 or 801-415-1839  
 elliotworkgroup.com



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Columbus Pacific Development LLC  
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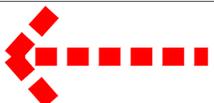
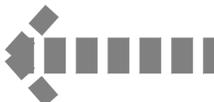
Rev.	Date	Description

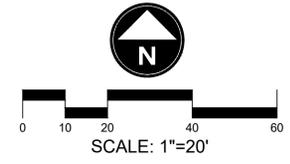
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 DRAWN BY: Author  
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 EWG PROJECT NO: 2019.58  
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 SHEET TITLE

Circulation & Connectivity Plan

LS-100

Legend:

-  Pedestrian Circulation
-  Vehicular Circulation
-  Ski Circulation



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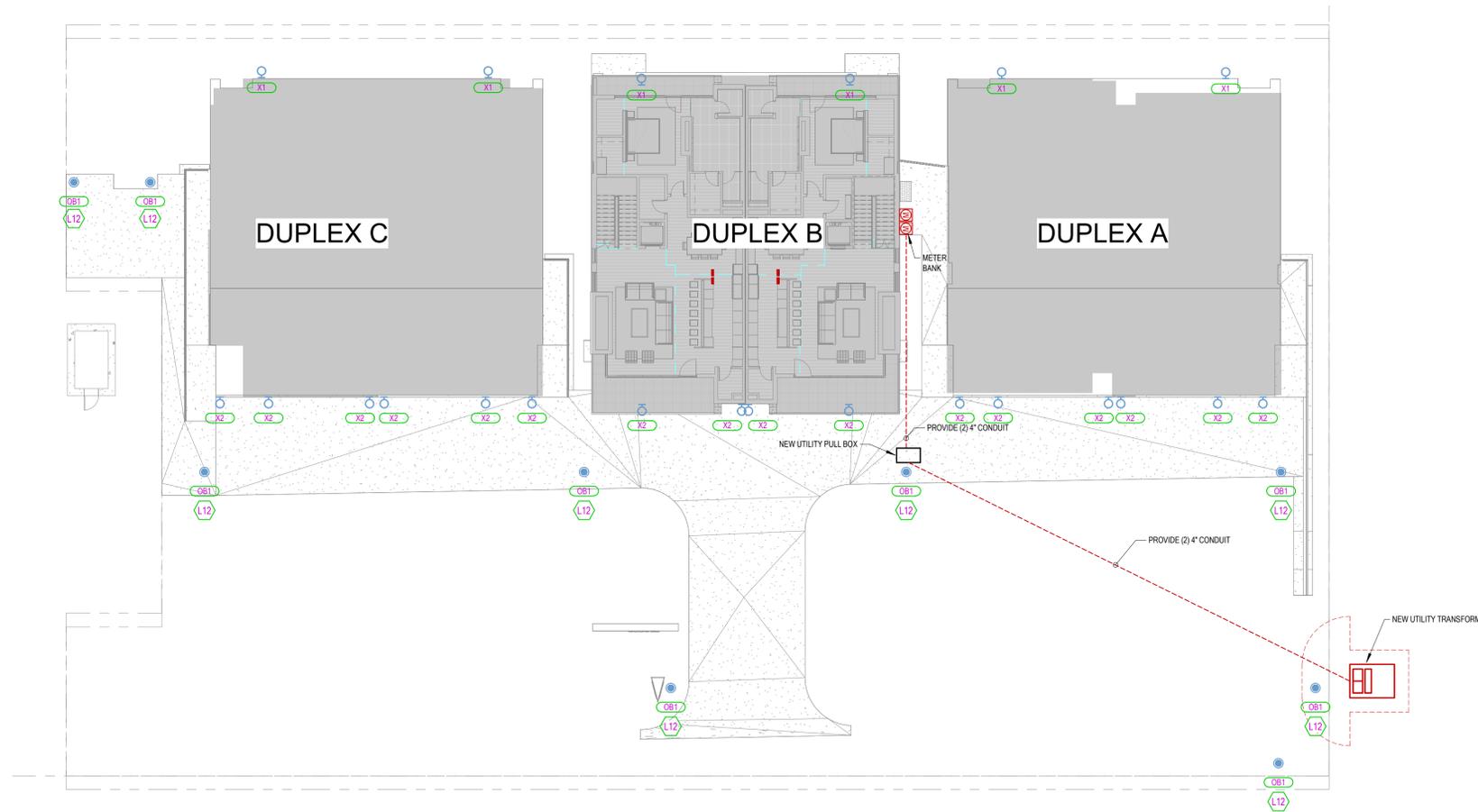
**GENERAL SHEET NOTES**

1. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS AND CIRCUITING OF EXTERIOR WALL SCONCES X1 AND X2 FOR EACH UNIT.

---

**SHEET KEYNOTES**

L12 CIRCUIT SITE LIGHTING BOLLARDS TO AN OPEN CIRCUIT IN THE SHED FOR BUILDING C, PANEL DC3.



**OVERALL SITE PLAN**  
SCALE = 1/16" = 1'-0"



OB1



X1



X2

**ELLIOTT WORKGROUP ARCHITECTURE LLC**  
1441 West Ute Blvd, Suite 100  
Park City, Utah 84098  
435-649-0092 or 801-415-1839  
elliottworkgroup.com



**BNA CONSULTING**  
4225 Lake Park Blvd Suite 275  
West Valley, UT 84120  
P: 801.532.2196  
F: 801.532.2305  
www.bnaconsulting.com  
SALT LAKE ST. GEORGE

Columbus Pacific Development  
**Elevation at Canyons Village - Unit B**  
2306 W. Red Pine Rd.  
Park City, UT 84098  
100% Construction Documents



Rev.	Date	Description

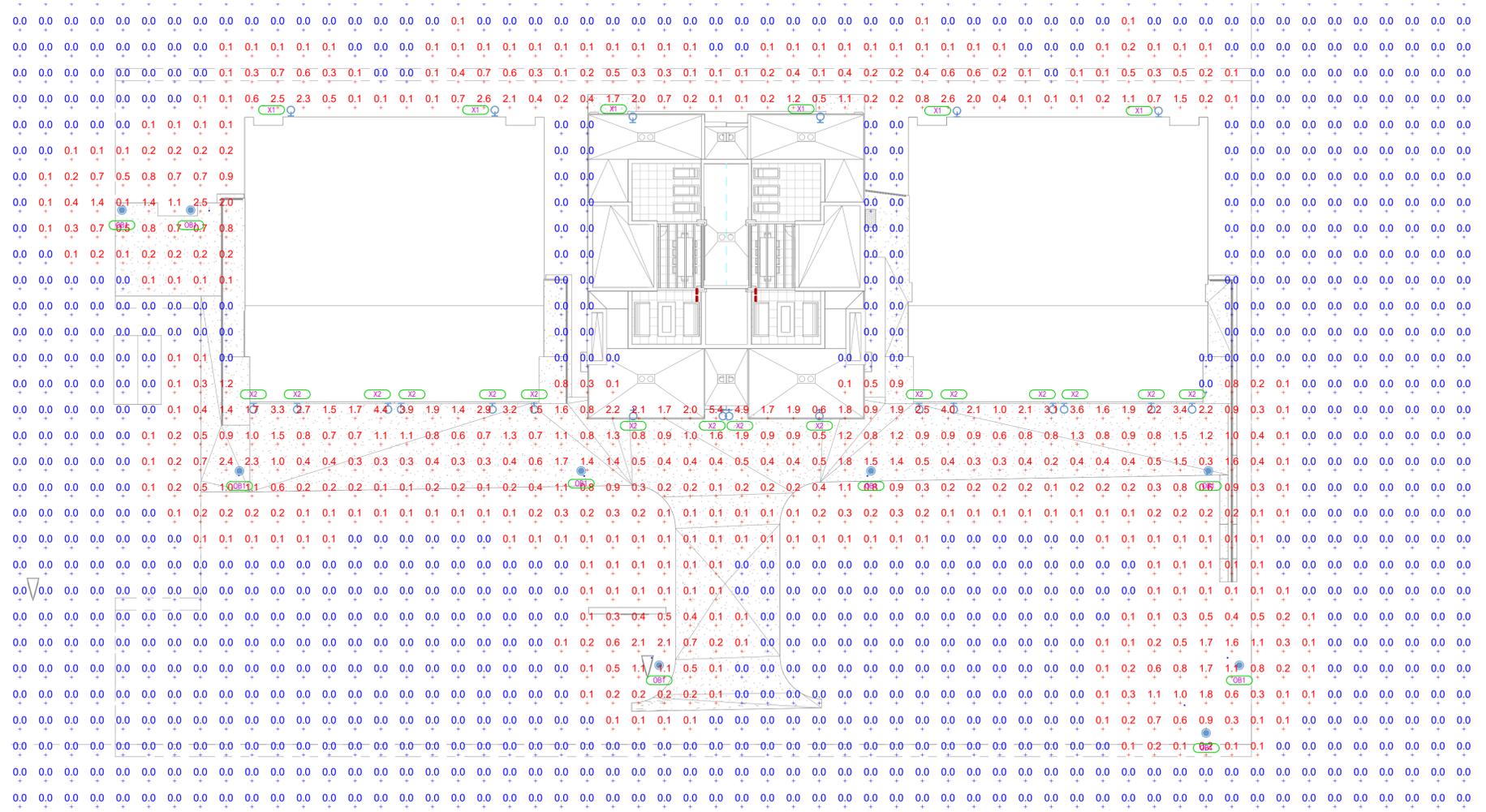
ISSUE DATE: 2022.11.23  
OWNER PROJECT NO: .  
CONTRACT NO: .  
DRAWN BY: BNA  
CHECKED BY: BNA  
DESIGNED BY: BNA  
EWG PROJECT NO: 2019.58  
COPYRIGHT: Elliott Workgroup Architecture, LLC, 2022

SHEET TITLE  
**OVERALL SITE PLAN**

**E101**

7/27/2023 2:10:55 PM Autodesk Docs://2019.58 Weight at Hyatt Centric/22428 - Weight Duplexes at Hyatt - Duplexe B ELEC v22.rvt

**GENERAL SHEET NOTES**  
1. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS AND CIRCUITING OF EXTERIOR WALL SCONCES X1 AND X2 FOR EACH UNIT.



**OVERALL SITE PLAN - PHOTOMETRIC**  
SCALE = 1/16" = 1'-0"

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435-649-0092 or 801-415-1839  
elliottworkgroup.com



**BNA CONSULTING**  
4225 Lake Park Blvd Suite 275  
West Valley, UT 84120  
P: 801.532.2196 F: 801.532.2305  
www.bnaconsulting.com  
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Columbus Pacific Development  
**Elevation at Canyons Village - Unit B**  
2306 W. Red Pine Rd.  
Park City, UT 84098  
100% Construction Documents



Rev.	Date	Description
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ISSUE DATE: 2022.11.23  
OWNER PROJECT NO: .  
CONTRACT NO: .  
DRAWN BY: BNA  
CHECKED BY: BNA  
DESIGNED BY: BNA  
EWG PROJECT NO: 2019.58  
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SHEET TITLE  
**SITE PHOTOMETRICS**

**E102**

ELLIOTT WORKGROUP

**NOTES:**

- Parcel 1 as depicted on the "Weight Townhouse Subdivision Amended", which plat was filed in the Office of the Recorder of the County of Summit, State of Utah on \_\_\_\_\_ 2023 as Entry No. \_\_\_\_\_
- This plat hereby creates the ELEVATION CONDOMINIUMS as separate and independent parcels with the density set forth herein.
- The commercial unit owner shall continue to have the remaining development rights as set forth on this condominium plat, which includes the right to develop 13,706 square feet of Residential space on Parcel 1 and 33,813 square feet of Commercial space on Parcel 1, which is transferable pursuant to the Canyons SPA Agreement.
- Elevation Condominiums, its successors and assigns, has right to access, use and enjoy the RVMA non-exclusive Ski and Pedestrian Trail, pursuant to that certain Non-exclusive Pedestrian and Ski Access Easement recorded on July 9, 2009 as Entry No. 877139, in the Summit County Recorder's Office.
- A 10 foot wide Public Utility easement exists around the perimeter of the subject property.
- Pursuant to the Declaration of Covenants, Conditions and Restrictions for ELEVATION CONDOMINIUMS (the "Declaration"), the Elevation Condominium Owners Association, Inc., a Utah non-profit corporation (the "Association") is responsible for maintaining the Common Areas and Facilities, and the Association shall have a perpetual non-exclusive easement over the project property, including the Residential Units, for such maintenance purposes as further described in the Declaration.

- Access to each Residential Unit is by an easement granted in the Declaration over the Shared Driveway and drive aisles comprising part of the Commercial Unit.
- The Commercial Unit is owned and controlled by the Commercial Unit Owner and is not part of the Common Areas and Facilities for the project. The Commercial Unit Owner is obligated to maintain and repair the Commercial Unit. However, the costs for such maintenance and repairs will be paid by the Residential Unit Owners as part of their assessments in exchange for certain easements and use rights on and over the Commercial Unit, including the Shared Driveway, all as further described in the Declaration.
- All parking within the project shall be exclusively in a garage comprising part of a Residential Unit. No Parking is allowed on the Shared Driveway or on any Commercial Area.
- The project is situated within a portion of the area constituting and referred to as the "Resort Core" development area (the "Resort Core") which is a part of The Canyons Specially Planned Area Zone District (the "Canyons SPA") established pursuant to Summit County Ordinance No. 333A, approved November 15, 1999, as amended, and generally depicted and described in the Amended and Restated Development Agreement for The Canyons Specially Planned Area, dated November 15, 1999, and recorded November 24, 1999, as Entry No. 553911, in Book 1297, beginning at Page 405, in the official records of the Summit County, Utah Recorder (as amended, the "SPA Development Agreement").

- The principle Use shall be as Hotel/Lodging units, and as such are not eligible for the primary residence exception (Summit County ordinance 787-A).
- All units may require privately owned and operated wastewater ejector pumps for wastewater service for the lower levels.
- The open space shown on the Elevation Condominiums plat shall allow for certain improvements, including landscaping, pedestrian walkways, and storm drainage which shall be constructed by the developer and maintained by the homeowner's association pursuant to the final site plan and construction drawings approved by Summit County. The open space shall permit certain other utility, landscape, waterway and trail enhancements as required by summit county or the Canyons Village Management Association. The open space may be used by the developer for temporary construction staging. The location and dimensions shall be designated and maintained at all times in accordance with the final site plan, which shall be approved by Summit County. Once the specific open space is defined on the final site plan, such open space improvements shall be available for use as a means of ingress and egress by the general public as part of the trails and ways within the Canyons SPA.
- 50' landscape buffer setback from Red Pine Road right-of-way in which no building shall occur.

- By acceptance of a deed to a Residential Unit, each Residential Unit Owner hereby agrees and acknowledges the project is located near or adjacent to a public skiing facility known as the Canyons Village at Park City (the "Ski Facility"), which area may generate an unpredictable amount of visible, audible and odoriferous impacts and disturbances from activities relating to the construction, operation, use and maintenance thereof. The activities associated with the Ski Facility include, without limitation: (i) vehicular and residential traffic, including, without limitation, (a) buses, vans, snowcoaches, snowmobiles and other vehicles which transport residents and guests around and through the Ski Facility, and (b) construction vehicles and equipment; (ii) activities relating to the construction, operation and maintenance of ski trails, skiways and skier bridges and tunnels relating to the Ski Facility, including, without limitation, (c) construction, operation and maintenance of access roads serving the Ski Facility, snow-making equipment and chair lifts, gondolas and other skier transportation systems, and (d) operation of snow-grooming vehicles and equipment, and safety and supervision vehicles; and (iii) activities relating to the use of the Ski Facility, including, without limitation, (e) construction, operation and maintenance of riding, bicycling and other recreational activities. By acceptance of a deed to a Residential Unit, each Owner also agrees and acknowledges that neither Commercial Unit Owner nor Declarant is the operator of the Ski Facility, and accordingly, the Commercial Unit Owner and Declarant cannot make any representations relating thereto. Neither the Commercial Unit Owner nor the Declarant nor any of their respective employees or agents can make any representations regarding the opening or closing dates of the Ski Facility or other nearby ski areas in any given year. Each Residential Unit Owner fully understands that the operator of those ski areas may decide, in its sole discretion, whether any or all of the ski lifts within those ski areas should be operated.



**SURVEYORS CERTIFICATE**

I, Michael Demkowicz, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold License No. 4857264 in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act. I further certify that I have completed a survey and have referenced a record of survey map of the existing property boundaries in accordance with Section 17-23-17 and have verified the boundary locations and have placed or found monuments represented on the plat. I do further certify that by authority of the owners, and in accordance with Utah State Code Section 57-8-13, I have prepared this Condominium Plat containing 6 Residential Units, together with Commercial Area, Common Area and Limited Common Areas, hereafter to be known as Elevation Condominiums.

**LEGAL DESCRIPTION**

Parcel 1:  
Lot 1, of that certain plat entitled "Weight Townhouse Subdivision Amended", which plat was filed in the Office of the Recorder of the County of Summit, State of Utah on \_\_\_\_\_ 2023 as Entry No. \_\_\_\_\_

More particularly described as follows:  
Beginning at a point on the easterly property line of Escala Lodges Condominiums which is North 89°59'45" West 1477.57 feet along the section line and South 367.59 feet from the Southeast corner of Section 36, Township 1 South, Range 3 East, Salt Lake Base & Meridian; thence South 156.67 feet; thence West 264.45 feet to the east line of the Escala Lodges Condominiums; thence North 33.91 feet along said east line; thence East 20.00 feet; thence North 70.00 feet; thence West 20.00 feet to the east line of the Escala Lodges Condominiums; thence North 52.76 feet along said east line to the south line of Escala Lodges Condominiums; thence East 264.45 feet along said south line to the point of beginning.

Contains 40,031 square feet or 0.919 acres.

Parcel 2:  
Together with and subject to an undivided interest in a perpetual right-of-way and easement for roadway purposes and for the construction, alteration, maintenance and repair of underground utilities including water, electrical power, telephone and natural gas, fifty (50) feet in width, twenty-five (25) on either side of the following described center line:

Beginning at a point in the south line of a county road which is 1253 feet North and 750 feet West from the northeast corner of Section 1, Township 2 South, Range 3 East, Salt Lake Base and Meridian, and running thence South 680.8 feet; thence South 10'00" East 355 feet; thence 1,112.96 feet along the arc of a 636.62 foot radius curve to the right; thence West 881 feet.

**OWNER'S DEDICATION AND CONSENT TO RECORD**

KNOW ALL MEN BY THESE PRESENTS that CPD THPC LLC, a Delaware limited liability company, the undersigned owner of the hereon described tract of land, to be known hereafter as ELEVATION CONDOMINIUMS, does hereby certify that it has caused this Plat to be prepared, and does hereby consent to the recordation of this Plat.

In witness whereof, the undersigned set his hand this \_\_\_\_\_ day of \_\_\_\_\_ 2023.

CPD THPC LLC, a Delaware limited liability company,  
By: \_\_\_\_\_  
Its: Authorized Representative

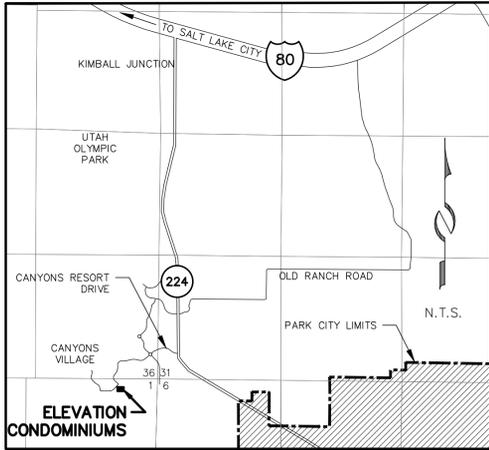
**ACKNOWLEDGMENT**

STATE OF UTAH )  
                          ) ss.  
COUNTY OF SUMMIT )  
On this \_\_\_\_\_ day of \_\_\_\_\_, 2023, personally appeared before me, Tony Tyler, who being by me duly sworn did say that he is the authorized representative of CPD THPC LLC, a Delaware limited liability company, and that he signed the above Owner's Dedication and Consent to Record for, on and in behalf of CPD THPC LLC, a Delaware limited liability company.

By: \_\_\_\_\_  
Notary Public  
Printed Name: \_\_\_\_\_  
Residing in: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_  
Commission No.: \_\_\_\_\_

**SURVEYORS NARRATIVE:**

- The purpose of this Condominium Plat is to create 6 Residential Condominium Units AND 1 Commercial Unit.
- Record of Survey drawing was filed on July 13, 2023 as file number S-11273, in the office of the Summit County Recorder.
- A 10 foot wide Public Utility easement exists around the perimeter of the subject property.
- Pursuant to the Declaration of Covenants, Conditions and Restrictions for ELEVATION CONDOMINIUMS (the "Declaration"), the Elevation Condominium Owners Association, Inc., a Utah non-profit corporation (the "Association") is responsible for maintaining the Common Areas and Facilities, and the Association shall have a perpetual non-exclusive easement over the project property, including the Residential Units, for such maintenance purposes as further described in the Declaration.

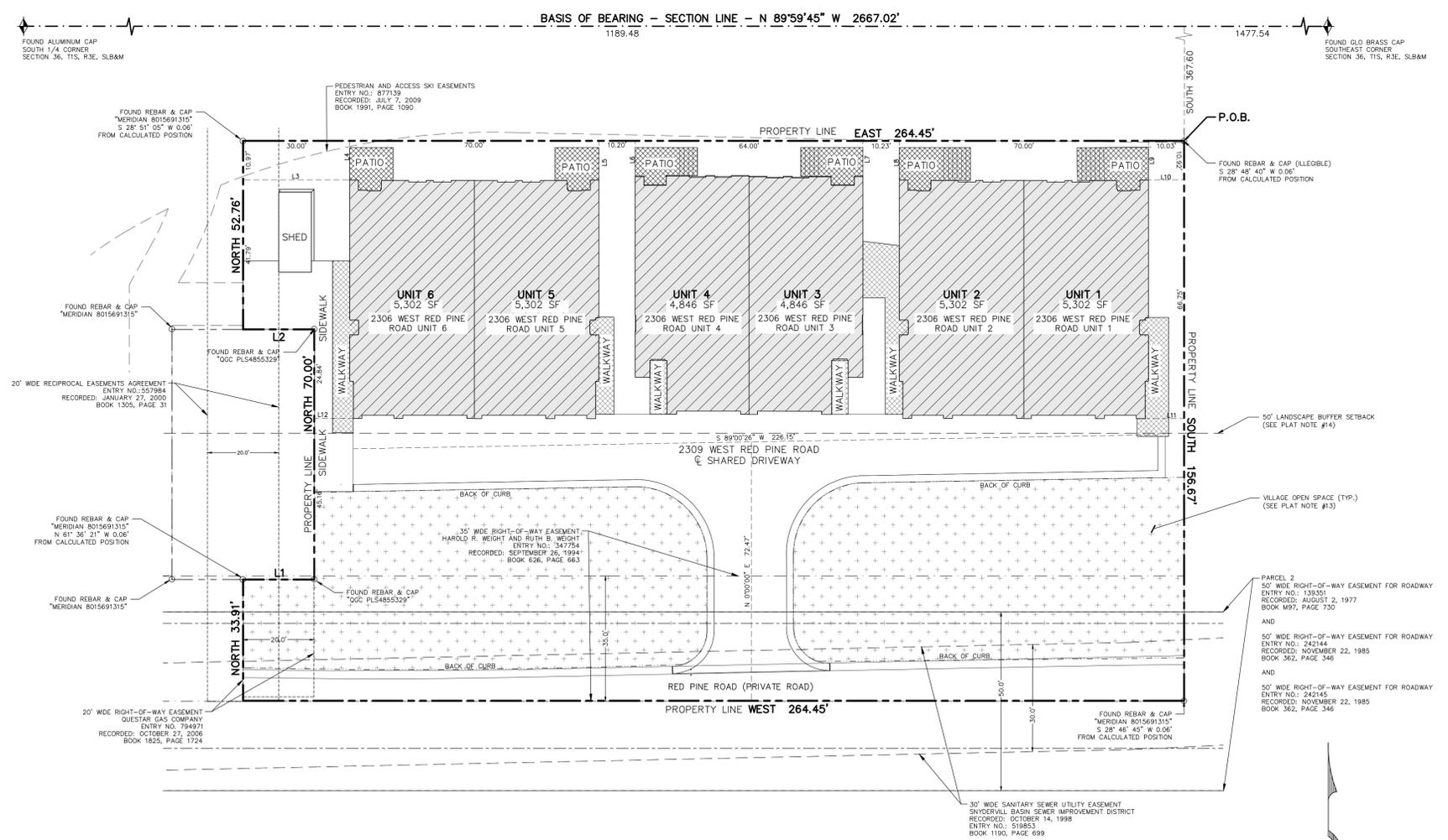


**OWNERSHIP LEGEND**



LINE	BEARING	LENGTH
L1	EAST	20.00'
L2	WEST	20.00'
L3	EAST	30.00'
L4	NORTH	10.97'
L5	NORTH	10.97'
L6	NORTH	10.05'
L7	NORTH	10.05'
L8	NORTH	10.97'
L9	NORTH	10.97'
L10	EAST	10.03'
L11	EAST	10.95'
L12	EAST	11.00'

WEIGHT TOWNHOMES AMENDED	TRANSFERABLE DEVELOPMENT RIGHTS		
OWNERSHIP AREA	DENSITY ALLOWED	DENSITY UTILIZED	REMAINING
COMMERCIAL UNIT	33,813 SF	0 SF	33,813 SF
RESIDENTIAL UNIT	36,760 SF	25,054 SF	13,706 SF



**ELEVATION CONDOMINIUMS**

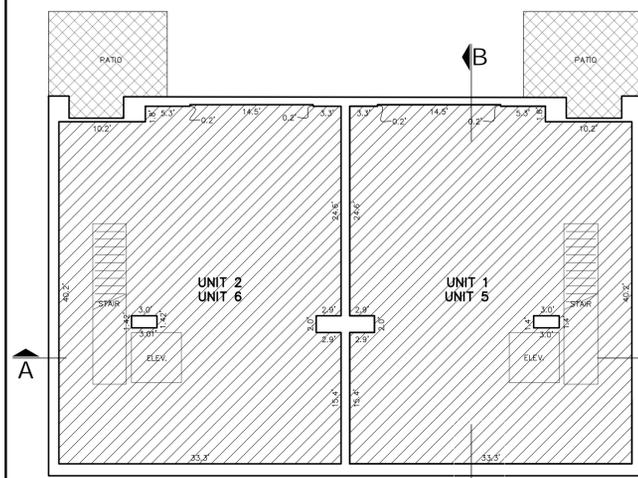
**A UTAH CONDOMINIUM PROJECT**

LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN COUNTY OF SUMMIT, STATE OF UTAH



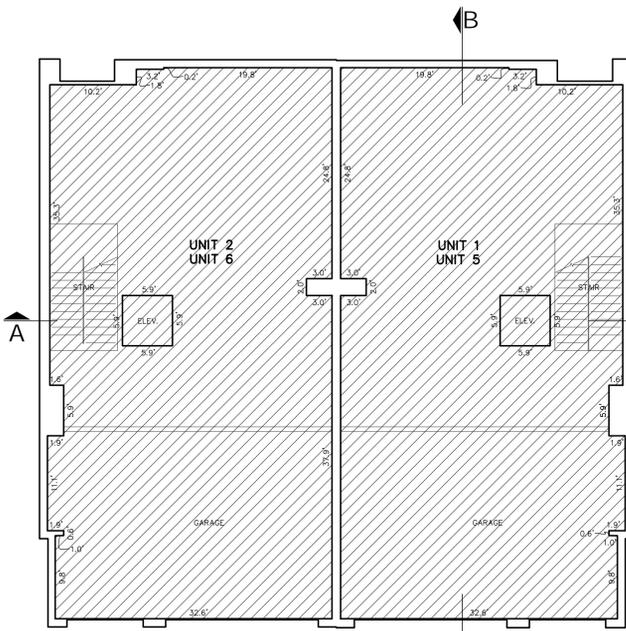
CANYONS RESORT VILLAGE ASSOCIATION, INC. BY: _____ PRINT NAME: _____ TITLE: _____ DATE: _____	DOMINION ENERGY APPROVED AND ACCEPTED THIS _____ DAY OF _____, 2023. BY: _____ TITLE: _____	SUMMIT WATER DISTRIBUTION COMPANY APPROVED AND ACCEPTED THIS _____ DAY OF _____, 2023. BY: _____ TITLE: _____	PUBLIC SAFETY ANSWERING POINT APPROVAL THIS _____ DAY OF _____, 2023 AT WHICH TIME THIS PLAT WAS APPROVED AND ACCEPTED. BY: _____ TITLE: _____	ROCKY MOUNTAIN POWER THE UTILITY EASEMENTS SHOWN HEREON HAVE BEEN APPROVED AND ACCEPTED THIS _____ DAY OF _____, 2023. BY: _____	PARK CITY FIRE SERVICE DISTRICT THIS PLAT HAS BEEN REVIEWED AND APPROVED BY THE PARK CITY FIRE SERVICE DISTRICT AND ACCEPTED THIS _____ DAY OF _____, 2023 BY: _____	SNYDERVILLE BASIN WATER RECLAMATION DISTRICT REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS _____ DAY OF _____, 2023 BY: _____



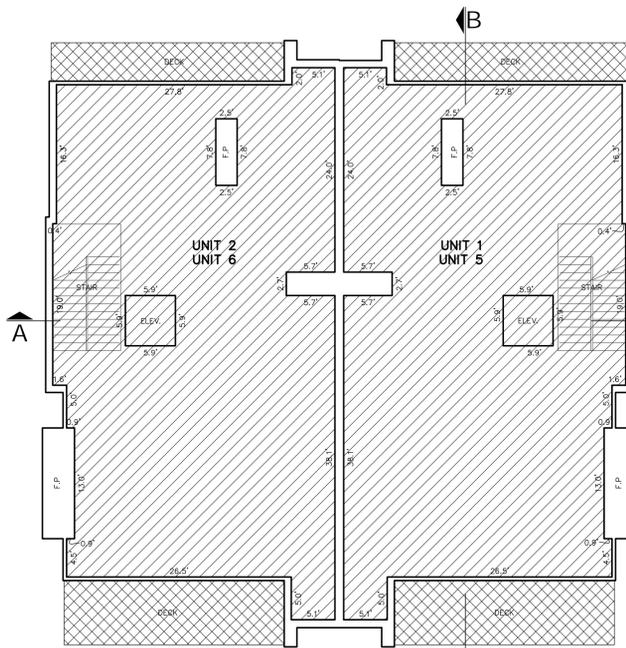


**Buildings 'A' and 'C'**  
**Lower Level**  
1,371 SF

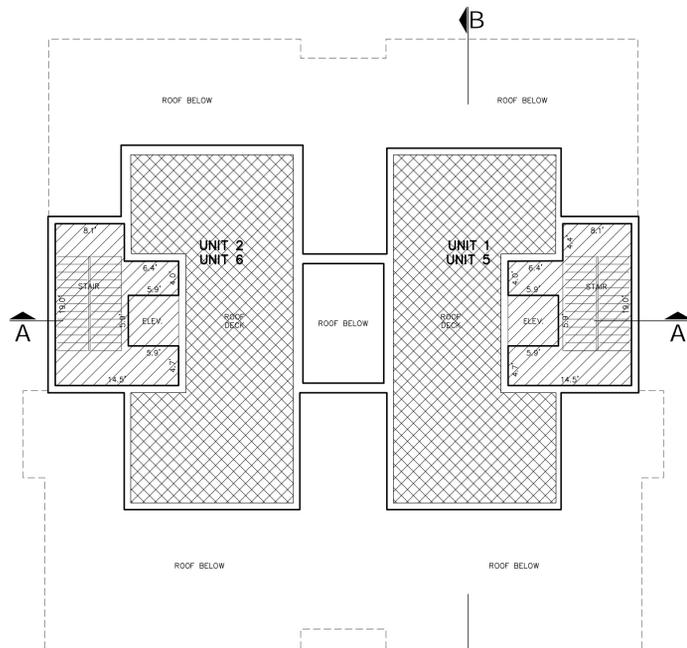
**GENERAL NOTES**  
The dimensions, square footage calculations and elevations for the Residential Units shown on this Plat may vary from the cross-hatched area depicted on this Plat and are based on drawings by the architect, Elliot Work Group, and are determined in accordance with the Utah Condominium Ownership Act and the Declaration. Dimensions shown are to the internal surface of the Residential Units only and exclude structural columns, mechanical and utility chases. Upon completion of each Residential Unit (a "Completed Unit"), the boundaries of the Completed Unit shall be automatically adjusted to be the boundaries of such as-built Completed Unit as described in the Declaration.



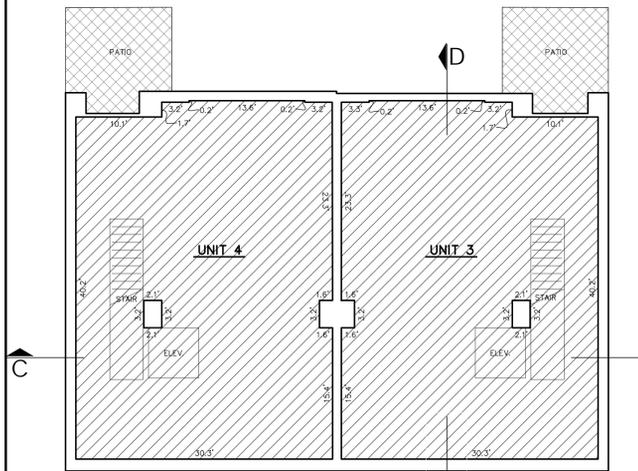
**Buildings 'A' and 'C'**  
**First Level**  
2,077 SF



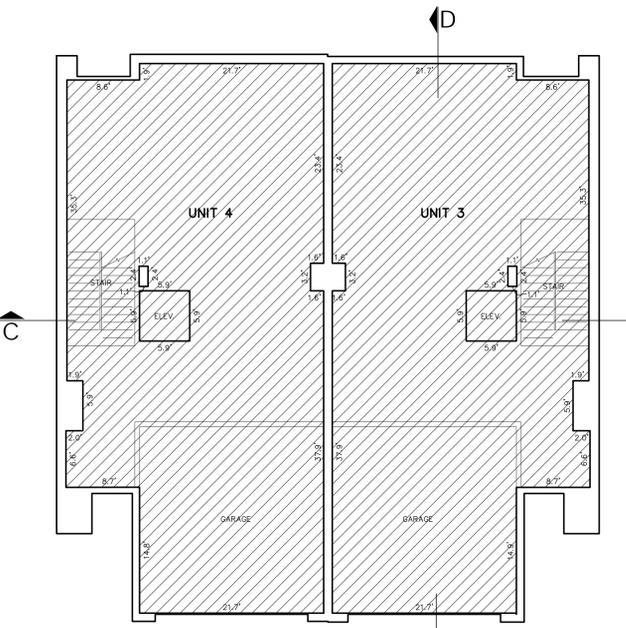
**Buildings 'A' and 'C'**  
**Second Level**  
1,833 SF



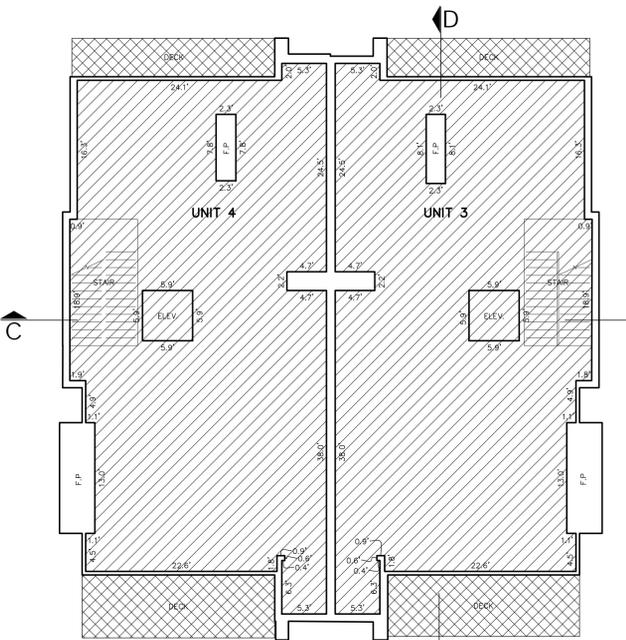
**Buildings 'A' and 'C'**  
**Roof Level**  
213 SF



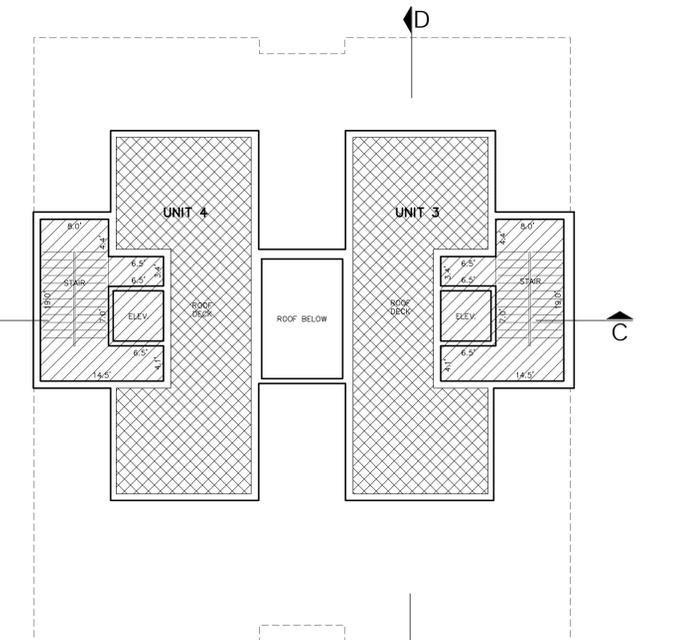
**Building 'B'**  
**Lower Level**  
1,240 SF



**Building 'B'**  
**First Level**  
1,758 SF



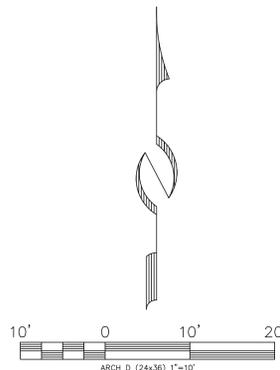
**Building 'B'**  
**Second Level**  
1,647 SF



**Building 'B'**  
**Roof Level**  
201 SF

**OWNERSHIP LEGEND**

- LIMITED COMMON
- RESIDENTIAL UNIT
- COMMON AREA



**ELEVATION CONDOMINIUMS**

A UTAH CONDOMINIUM PROJECT  
LOCATED IN THE NORTHEAST QUARTER OF SECTION 1  
TOWNSHIP 2 SOUTH, RANGE 3 EAST,  
SALT LAKE BASE AND MERIDIAN  
PARK CITY, SUMMIT COUNTY, UTAH

**Buildings 'A,' 'B' & 'C'**  
**Square Footage Table**

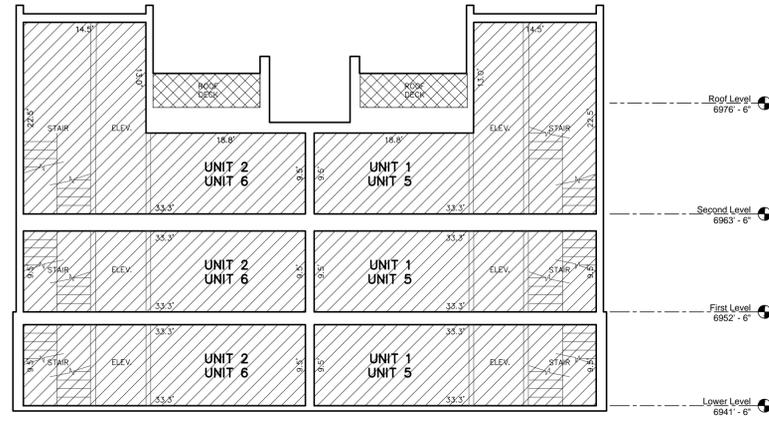
UNIT	TOTAL SQUARE FOOTAGE
1,2,5,6	5,484 SF
3,4	4,846 SF

**RECORDED**

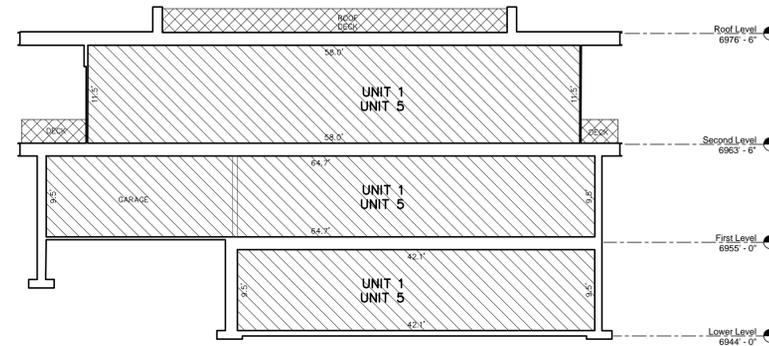
STATE OF UTAH, COUNTY OF SUMMIT, AND FILED  
AT THE REQUEST OF \_\_\_\_\_

FEE \_\_\_\_\_ RECORDER \_\_\_\_\_  
TIME \_\_\_\_\_ DATE \_\_\_\_\_ ENTRY NO. \_\_\_\_\_

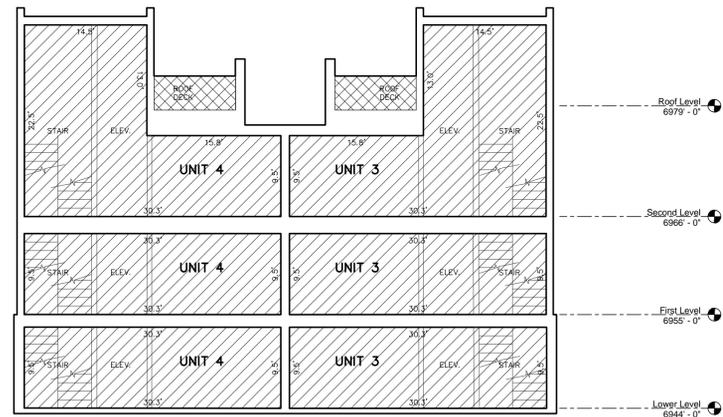
(435) 649-9467  
**Alliance Engineering Inc.**  
CONSULTING ENGINEERS LAND PLANNERS SURVEYORS  
323 Main Street P.O. Box 2664 Park City, Utah 84060-2664



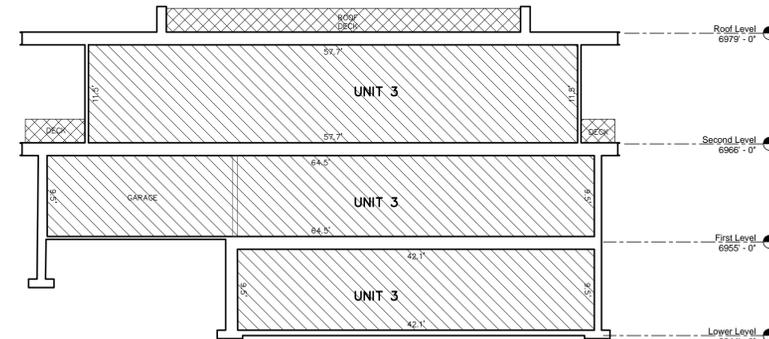
Section A-A  
Buildings 'A' and 'C'



Section B-B  
Buildings 'A' and 'C'



Section C-C  
Building 'B'



Section D-D  
Building 'B'

**OWNERSHIP LEGEND**

-  LIMITED COMMON
-  RESIDENTIAL UNIT
-  COMMON AREA

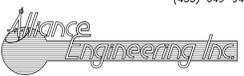


**GENERAL NOTES**

The dimensions, square footage calculations and elevations for the Residential Units shown on this Plat may vary from the cross-hatched area depicted on this Plat and are based on drawings by the architect, Elliot Work Group, and are determined in accordance with the Utah Condominium Ownership Act and the Declaration. Dimensions shown are to the internal surface of the Residential Units only and exclude structural columns, mechanical and utility chases. Upon completion of each Residential Unit (a "Completed Unit"), the boundaries of the Completed Unit shall be automatically adjusted to be the boundaries of such as-built Completed Unit as described in the Declaration.

# ELEVATION CONDOMINIUMS

A UTAH CONDOMINIUM PROJECT  
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 1  
 TOWNSHIP 2 SOUTH, RANGE 3 EAST,  
 SALT LAKE BASE AND MERIDIAN  
 PARK CITY, SUMMIT COUNTY, UTAH

(435) 649-9467  
  
 CONSULTING ENGINEERS LAND PLANNERS SURVEYORS  
 323 Main Street P.O. Box 2664 Park City, Utah 84060-2664

**RECORDED**

STATE OF UTAH, COUNTY OF SUMMIT, AND FILED  
 AT THE REQUEST OF \_\_\_\_\_  
 \_\_\_\_\_ FEE \_\_\_\_\_ RECORDER  
 TIME \_\_\_\_\_ DATE \_\_\_\_\_ ENTRY NO. \_\_\_\_\_

# WEIGHT TOWNHOUSE SUBDIVISION

LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN  
 COUNTY OF SUMMIT, STATE OF UTAH

"Utilities shall have the right to install, maintain and operate their equipment above and belowground and all other related facilities within the Public Utility Easements identified on this plat map as may be necessary or desirable in providing utility services within and adjacent to the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the PUE. The utility may require the lot owner to remove all structures within the PUE at the lot owner's expense, or the utility may remove such structures at the lot owner's expense. At no time may any permanent structures be placed within the PUE or any other obstruction which interferes with the use of the PUE without the prior written approval of the utilities with facilities in the PUE."

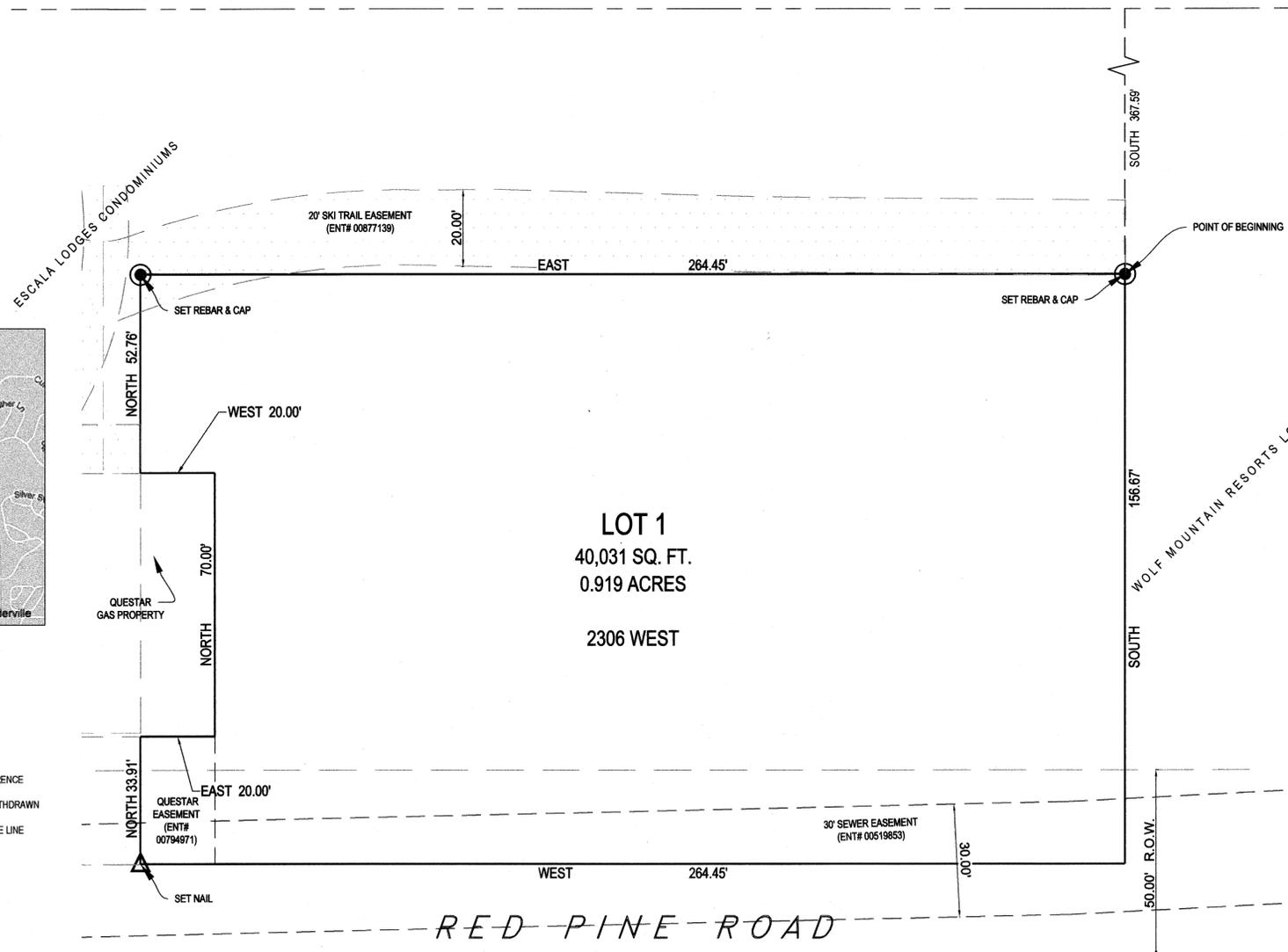
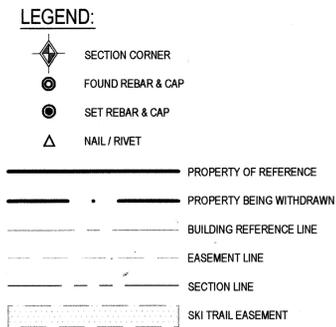
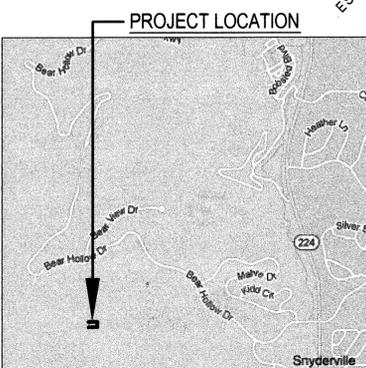
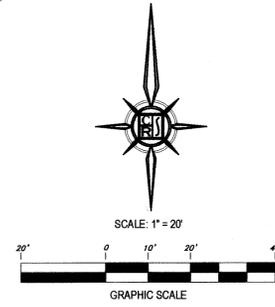
NORTH QUARTER CORNER OF SECTION 1, T2S, R3E, SLB&M (NOT FOUND, DESTROYED)

NORTHEAST CORNER OF SECTION 1, T2S, R3E, SLB&M (FOUND BRASS CAP)

NORTH QUARTER CORNER OF SECTION 6, T2S, R4E, SLB&M (FOUND RAILROAD SPIKE)

BASIS OF BEARING  
 N89°47'55"W 2,693.50'  
 (MONUMENT TO MONUMENT)

N89°56'08"W 1,476.30' (M)  
 N89°59'43"W 1,477.57' (R)



**LOT 1**  
 40,031 SQ. FT.  
 0.919 ACRES  
 2306 WEST

Transferable Development Rights Clarification	
Purchased TDR's (12.10.04)	25,000
Sqft. Area from TDR Purchase Applied to Escala Phase I	13,000
Sqft. Area from TDR Purchase Applied to Escala Phase II	12,000

Escala Phase I Lodging Accommodation Area	
Allowed Accom. Area Per SPA Agreement	179,200
Applied Area from Weight Parcel Sale	10,000
Applied Area from TRD purchase contract	13,000
<b>Subtotal</b>	<b>202,200</b>
Lodging Accommodation Area	173,200
Cabin Lodging Accommodation Area	29,000
<b>Subtotal</b>	<b>202,200</b>
TDR Transfer from Phase I to Phase II	-3,000
<b>Total Applied Accommodation Area</b>	<b>Total 199,200</b>
Actual Lodging Accommodation Area	145,851
Available Cabin Lodging Accommodation Area	53,349

Escala Phase II & Weight Townhouse Subdivision (Formerly Part of Escala Phase II) Lodging Accommodation Area	
Allowed Lodging Accom. Area Per SPA Agreement	137,000
TDR's Sold to Phase I by developer	-10,000
Applied Area from TRD purchase contract	12,000
<b>Subtotal</b>	<b>139,000</b>
Lodging Accommodation Area	124,500
Townhouse Lodging Accommodation Area	14,500
<b>Subtotal</b>	<b>139,000</b>
TDR Transfer from Phase I to Phase II	3,000
<b>Total Available Lodging Accommodation Area</b>	<b>Total 142,000</b>
Actual Phase II Lodging Accommodation Area	105,240
Available Townhome Lodging Accommodation Density For Weight Townhouse Subdivision (Formerly Part of Escala Phase II)	36,760

Commercial Area	
Allowed Commercial Area Per SPA Agreement	83,267
Actual Phase I Commercial Area	21,242
Available Cabin Commercial Area	62,025

Commercial Area	
Allowed Commercial Area Per SPA Agreement	38,000
Actual Phase II Commercial Area	4,187
Available Townhome Commercial Area For Weight Townhouse Subdivision (Formerly Part of Escala Phase II)	33,813

## SURVEYOR'S CERTIFICATE

I, Darren R. Williams, do hereby certify that I am a Professional Land Surveyor, and that I hold certificate No. 4975981, as prescribed under the laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into a single lot, hereafter to be known as Weight Townhouse Subdivision and that the same has been correctly surveyed and staked on the ground as shown on this plat.



Date: 2/5/13  
 Darren R. Williams License No. 4975981

## BOUNDARY DESCRIPTION

**WEIGHT TOWNHOUSE SUBDIVISION:**  
 Beginning at a point on the easterly property line of Escala Lodges Condominiums which is 1476.30 feet (1477.57 feet) North 89°56'08" West along the section line and 367.59 feet SOUTH from the Northeast corner of Section 1, Township 2 South, Range 3 East, Salt Lake Base & Meridian; thence SOUTH 156.67 feet WEST 264.45 feet to the east line of the Escala Lodges Condominiums; thence NORTH 33.91 feet along said east line; thence EAST 20.00 feet; thence NORTH 70.00 feet; thence WEST 20.00 feet to the east line of the Escala Lodges Condominiums; thence NORTH 52.76 feet along said east line to the south line of Escala Lodges Condominiums; thence EAST 264.45 feet along said south line to the point of beginning.

Above described tract of land contains 40,031 square feet or 0.919 acres.

## OWNER'S DEDICATION

Known all men by these presents that the undersigned owner of the described tract of land hereon, hereby caused the same to be subdivided into a single lot to be hereafter known as **WEIGHT TOWNHOUSE SUBDIVISION**.

Executed this 5<sup>th</sup> day of Feb, 2013.  
 MORINDA PROPERTIES ESCALA LODGES LC, a Utah limited liability company  
 By: [Signature]  
 Its: Manager

## ACKNOWLEDGMENT

STATE OF Utah )  
 COUNTY OF Utah ) SS  
 On this 5<sup>th</sup> day of Feb, 2013, personally appeared before me Kim S. Quay, who being duly sworn did say that he/she/they is the Manager of MORINDA PROPERTIES ESCALA LODGES LC, a Utah limited liability company, and that the foregoing instrument was duly authorized by said limited liability company by authority of its members or articles of organization, and he/she/they acknowledge to me that said limited liability company executed the same.  
 NOTARY PUBLIC: [Signature] My Commission Expires: 01/22/2014

- NOTES:**
- Lot 1 as depicted on this Plat was withdrawn from the Escala Lodges condominium regime pursuant to: (i) Article 8 of the Second Amended and Restated Declaration of Condominium Escala Lodges recorded on May 3, 2012 as Entry No. 944746 in Book 2126 at Page 1906 in the office of the Summit County Recorder; (ii) the First Amendment to Second Amended and Restated Declaration of Condominium for Escala Lodges recorded May 17, 2012 as Entry No. 00945466 in Book 2128 at Page 1223 in the office of the Summit County Recorder; and (iii) the First Amendment to Amended and Restated Condominium Plat Escala Lodges Condominiums to Withdraw Land of even date herewith.
  - This plat hereby creates Lot 1 as a separate and independent parcel with the density set forth herein.
  - Notwithstanding the removal of Lot 1 from the Escala Lodges Condominium Plat, Lot 1 shall continue to have the development rights as set forth on the Plat, which includes the right to develop 36,760 square feet of residential space on Lot 1 and 33,813 Square feet of commercial space on Lot 1.
  - The Escala Lodges Condominiums Association shall not unreasonably interfere with the rights of Morinda Properties Escala Lodges, as the owner of Lot 1, its successors and assigns, to access, use and enjoy the RVMA nonexclusive Ski and Pedestrian Trail, regardless of the ultimate location or relocation of such trail. It being the parties' intent that the owner(s) of Lot 1 shall have continued access, use and enjoyment rights to such trail in perpetuity, which rights shall run with Lot 1.

<b>CONDOMINIUM ASSOCIATION</b> APPROVED AND ACCEPTED THIS <u>5</u> DAY OF <u>FEBRUARY</u> A.D., 20 <u>13</u> <u>[Signature]</u> PRESIDENT	<b>SNYDERVILLE BASIN WATER RECLAMATION DISTRICT</b> REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS ON THIS <u>5<sup>th</sup></u> DAY OF <u>February</u> A.D., 20 <u>13</u> BY: <u>[Signature]</u>	<b>QUESTAR GAS</b> APPROVED AND ACCEPTED THIS <u>5<sup>th</sup></u> DAY OF <u>Feb</u> A.D., 20 <u>13</u> <u>[Signature]</u>	<b>ROCKY MOUNTAIN POWER</b> APPROVED AND ACCEPTED THIS <u>6</u> DAY OF <u>FEB</u> A.D., 20 <u>13</u> <u>[Signature]</u>
<b>SUMMIT WATER DISTRIBUTION COMPANY</b> APPROVED AND ACCEPTED THIS <u>6</u> DAY OF <u>Feb</u> A.D., 20 <u>13</u> <u>[Signature]</u>	<b>SNYDERVILLE BASIN SPECIAL RECREATION DISTRICT</b> APPROVED AND ACCEPTED THIS <u>5<sup>th</sup></u> DAY OF <u>February</u> A.D., 20 <u>13</u> <u>[Signature]</u>	<b>GOVERNING BODY APPROVAL AND ACCEPTANCE</b> APPROVED THIS <u>14<sup>th</sup></u> DAY OF <u>Feb</u> , A.D., 20 <u>13</u> ON BEHALF OF THE SUMMIT COUNTY COUNCIL, PER SNYDERVILLE BASIN DEVELOPMENT CODE, SECTION 10-3-14 <u>[Signature]</u> SUMMIT COUNTY MANAGER	<b>RESORT VILLAGE MANAGEMENT ASSOCIATION</b> APPROVED AND ACCEPTED THIS <u>6</u> DAY OF <u>Feb</u> , A.D., 20 <u>13</u> <u>[Signature]</u> DIRECTOR

<b>PARK CITY FIRE DISTRICT</b> APPROVED AND ACCEPTED THIS <u>5<sup>th</sup></u> DAY OF <u>FEBRUARY</u> A.D., 20 <u>13</u> <u>[Signature]</u> FIRE MARSHAL	<b>SUMMIT COUNTY ASSESSOR</b> APPROVED AND ACCEPTED THIS <u>8<sup>th</sup></u> DAY OF <u>February</u> A.D., 20 <u>13</u> <u>[Signature]</u> COUNTY ASSESSOR - Chief Deputy	<b>SUMMIT COUNTY ATTORNEY</b> APPROVED AS TO FORM ON THIS <u>22<sup>nd</sup></u> DAY OF <u>February</u> A.D., 20 <u>13</u> <u>[Signature]</u> COUNTY ATTORNEY	<b>SUMMIT COUNTY ENGINEER</b> I, <u>[Signature]</u> SUMMIT COUNTY ENGINEER HEREBY CERTIFY THAT THIS PLAT HAS BEEN EXAMINED BY THIS OFFICE AND IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. DATE <u>2/8/13</u> COUNTY ENGINEER
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**CALDWELL RICHARDS SORENSEN**  
 ANSWERS TO INFRASTRUCTURE  
 SALT LAKE CITY OFFICE:  
 2090 EAST 2100 SOUTH  
 SALT LAKE CITY, UTAH 84109  
 PHONE: 801.359.5565  
 FAX: 801.359.4272  
 www.crsengineers.com

RECORDED # 964263  
 STATE OF UTAH, COUNTY OF SUMMIT, RECORDED AND FILED AT THE REQUEST OF MORINDA PROPERTIES ESCALA LODGES LC  
 DATE 2/26/13 TIME 8:32 AM BOOK --- PAGE ---  
 \$ 31.00 FEE \$ C. Willoughby - deputy  
 SUMMIT COUNTY RECORDER EXHIBIT B



interested parties and the entire record relating to this Appeal (*defined below*), the Council rendered its decision following discussion and deliberation as part of its regularly scheduled agenda on November 29, 2023, adopting a motion to GRANT the Appeal, with that decision to become final following the adoption of these findings and conclusions. The voting of the Council on this matter was 4-1. In support of that decision, the Council adopts the following Findings of Fact and Conclusions of Law:

### **FINDINGS OF FACT**

1. Summit County (the “*County*”) approved that certain Amended and Restated Development Agreement for the Canyons Specially Planned Area, dated December 15, 1999, as further amended on December 13, 2017 (the “*Canyons DA*”).<sup>1</sup>
2. Within the Canyons DA is Exhibit B, referred to as the Land Use and Zoning Chart, which allocates density, height and use for all parcels within the Canyons DA.<sup>2</sup>
3. On or about 2005, Morinda Properties Escala Lodges, LC (“*Morinda*”) was the record owner of four parcels within the Canyons DA; namely, Cox/Muller 1, Cox/Muller 2, Cox/Muller 3, and Weight. In accordance with the Land Use and Zoning Chart, each of these parcels is zoned for hotel/lodging uses. Morinda sought approval to construct hotels on these properties in two phases: (a) Escala Phase I: “*Escala Lodges*” (now the “*Hyatt Centric*”) which was approved in 2005, utilizing the density on the Cox/Muller 1-3 parcels; and (b) Escala Phase II: “*Sunrise at*

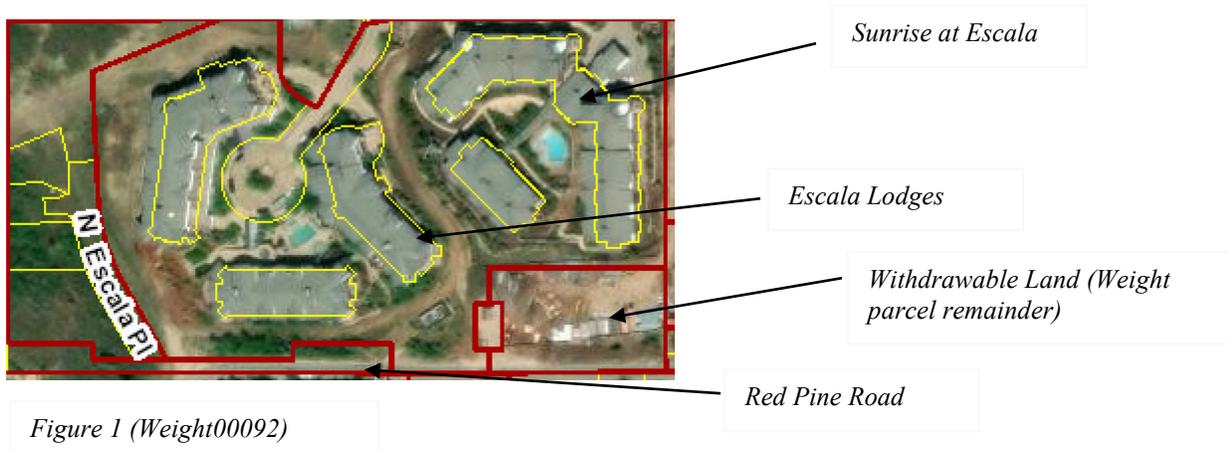
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<sup>1</sup> Weight00092; 00415-00513.

<sup>2</sup> Id.

*Escala*” (now the “*Hilton Grand Vacations*”) which was approved in 2006, utilizing some, but not all of the density on the Weight parcel.<sup>3</sup>

4. In 2008, a revised condominium plat was approved and recorded which combined the Escala Lodges and the Sunrise at Escala into one condominium plat (“*Escala Lodges Condominiums Amended & Restated Plat*”), comprising 5.28 acres, which is located between Red Pine Road and High Mountain Road (see *Figure 1* below).<sup>4</sup> A portion of the Escala Lodges Condominium Amended & Restated Plat was designated as “*Withdrawable Land*,” which would allow for further subdivision in the future to accommodate the remaining density from the Weight parcel (approximately 33,760 sf of hotel/lodging and 33,813 sf of commercial).<sup>5</sup>



5. In 2013, the Withdrawable Land was subdivided from the Escala Lodges Condominiums Amended & Restated Plat, and is now known as the Weight Townhouse Subdivision Plat, located at 2306 West Red Pine Road (the “*Weight Plat*” or “*Weight Townhouse Subdivision*”).

<sup>3</sup> Weight00092-93; 00305-307.

<sup>4</sup> Four cabin lots were not included in the combined plat. These cabin units are not germane to this Appeal.

<sup>5</sup> Weight00092-93; 00305-307; 00311; 00341-342.

The Weight Plat was encumbered by Plat Note #5, which reads as follows: “Red Pine Road will not be used for primary access to the subject property.” (*emphasis in the original*).<sup>6</sup> There is no prohibition on the use of Red Pine Road for secondary access or temporary construction access to the Weight Townhouse Subdivision.<sup>7</sup>

6. The approval of the Weight Plat was not appealed under Utah Code §17-27a-801(6), nor was any civil action filed within the statutory limitations period for an “as applied” taking of private property under Tolman v. Logan City, 2007 UT App. 260, ¶10, 167 P.3d 489.<sup>8</sup>

7. Hotel/lodging uses are defined in the Canyons DA, and require, among other things, a central check-in and hotel amenities.<sup>9</sup>

8. At the time Plat Note #5 was approved, the Canyons DA had no prohibition on access from Red Pine Road to the Weight Townhouse Subdivision.<sup>10</sup> In fact, there is a recorded easement granting legal access for ingress and egress from the Weight Townhouse Subdivision onto Red Pine Road.<sup>11</sup>

9. On or about 2019, Appellant acquired ownership of the Hyatt Centric and the Weight Townhouse Subdivision, and thereafter in 2023 made application to the Planning Commission to amend the Weight Plat by removing Plat Note #5 so that he could potentially develop three (3) duplexes (6 condominium units) for hotel/lodging uses (approximately, 25,000 sf) utilizing Red

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<sup>6</sup> Weight00091; 00093.

<sup>7</sup> Weight00235; Testimony of Tiffanie Robinson, County Planner, November 29, 2023 hearing.

<sup>8</sup> Weight00321-323; 0035-352.

<sup>9</sup> Weight00094; 00425.

<sup>10</sup> Weight00093; 00308; 00689.

<sup>11</sup> Weight00093; 00241-242; 00307; 00313-314

Pine Road as his primary vehicular access. Appellant proposes that hotel check-in and hotel amenities will be provided by the Hyatt Centric.<sup>12</sup>

10. As a result of Plat Note #5, the Weight Townhouse Subdivision cannot be primarily accessed by vehicular traffic. According to the Planning Commission, primary access would have to be through the Hyatt Centric by golf cart or footpath traversing over the existing ski easement located between the Hyatt Centric and the Weight Townhouse Subdivision.<sup>13</sup>

11. While there was testimony at the public hearing before the Planning Commission from residents in the area that allowing primary vehicular access to the Weight Townhouse Subdivision from Red Pine Road would increase traffic and change the character of the area,<sup>14</sup> there has also been testimony that there are seventy-five (75) new condominium units in the adjacent property to the Weight Townhouse Subdivision that are primarily accessed from Red Pine Road<sup>15</sup> and that the County Engineer has indicated that six (6) additional condominium units would have no appreciable impact on Red Pine Road traffic.<sup>16</sup>

12. The Planning Commission denied the amendment to remove Plat Note#5<sup>17</sup> and the Appellant timely appealed.<sup>18</sup>

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<sup>12</sup> Weight00008-10; 00094; 00227; 00307; 00343-344; 00425; 00713-714; Testimony of Tony Tyler, Appellant, November 29, 2023 hearing.

<sup>13</sup> Counsel stipulated that this was the case at the November 29, 2023 hearing; Weight00315.

<sup>14</sup> Weight00320-331; 00344-345.

<sup>15</sup> Testimony of Tiffanie Robinson, County Planner, November 29, 2023 hearing.

<sup>16</sup> Weight00312.

<sup>17</sup> Weight00007; 00676-677.

<sup>18</sup> Weight00001-00007.

13. The Timber's Homeowners Association ("HOA") filed an amicus brief with the Council. The Council decided that the amicus brief was not timely filed, nor was a motion made for intervention under the rules governing land use appeals and therefore, it was not considered.<sup>19</sup>

BASED on the totality of facts and circumstances presented by the evidence and the entire record considered as part of the decision, the Council renders the following Conclusions of Law:

### **CONCLUSIONS OF LAW**

1. Any person adversely affected may appeal the decision of a land use authority.<sup>20</sup> The burden of proof to show that the land use authority erred is upon the Appellant.<sup>21</sup> The Council's responsibility is to serve as the final decision maker regarding the interpretation and/or application of land use regulations.<sup>22</sup> In making that determination, the scope of review for the Council is bifurcated between factual matters (findings of fact) and the interpretation and application of the regulations (conclusions of law).<sup>23</sup> For factual matters, the review is *de novo* without deference to the land use authority's determination of the facts.<sup>24</sup> The scope of review for the legal conclusions of the decision itself, however, is one of correctness. To determine if the decision was correct, the Council must make a two-pronged determination. The first is whether the land use authority erred in interpreting the plain meaning of the regulatory language,

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<sup>19</sup> See Summit County Administrative Appeal Procedure (March 7, 2018).

<sup>20</sup> Utah Code §17-27a-703.

<sup>21</sup> Utah Code §17-27a-705.

<sup>22</sup> Utah Code §17-27a-701.

<sup>23</sup> Utah Code §17-27a-707.

<sup>24</sup> Utah Code §17-27a-707(2).

and the second is whether the land use authority erred in applying the plain meaning of the regulatory language.<sup>25</sup> Utah Code mandates that the Council interpret and apply the regulatory language to favor the land use application unless the regulation plainly restricts the application.<sup>26</sup>

2. In statutory interpretation, courts attempt to give effect to the legislative intent of ordinances as evidenced by the ordinance's plain language.<sup>27</sup> This is because courts have determined that "[t]he best evidence of the [legislative] intent is the statute's plain language."<sup>28</sup> In doing so, courts "presume that the *legislature used each word advisedly* and give effect to each term according to its ordinary and accepted meaning."<sup>29</sup> Courts "presume that the expression of one [term] should be interpreted as the exclusion of another."<sup>30</sup> Further, courts "interpret statutes to give meaning to all parts, and avoid rendering portions of the statute *superfluous*."<sup>31</sup> "To do so, [courts] read the *plain language of the statute as a whole*, and interpret its provisions in *harmony with other statutes in the same chapter and related chapters*."<sup>32</sup>

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<sup>25</sup> Utah Code §17-27a-707(4).

<sup>26</sup> Utah Code §17-27a-707(4)(b); §17-27a-308(2). Such statutory provision overrules Code §11-7-8. See Utah Code §17-27a-104(2).

<sup>27</sup> Summit Water Distribution Company v. Summit County, 2005 UT 73, ¶17, 123 P.3d 437, 442; Jensen v. Intermountain Health Care, Inc., 679 P.2d 903, 906 (Utah 1984).

<sup>28</sup> Marion Energy, Inc. v. KFJ Ranch Partnership, 2011 UT 50, ¶14, 267 P.3d 863, 866.

<sup>29</sup> C.T. ex. Rel. Taylor v. Johnson, 1999 UT 35, ¶9, 977 P.2d 479, 481 (*emphasis added*).

<sup>30</sup> Marion Energy, Inc., 2011 UT 50, ¶14, 267 P.3d at 866.

<sup>31</sup> State v. Watkins, 2013 UT 28, ¶23, 309 P.3d 209, 213 (*emphasis added*).

<sup>32</sup> State v. Barrett, 2005 UT 88, ¶29, 127 P.3d 682, 689 (*emphasis added*).

### **Relevant Code Provision**

3. Grounds for Vacating or Changing a Plat: “If the county manager or land use authority is satisfied that neither the public nor any person will be materially injured by the proposed vacation, alteration or amendment, and that there is good cause for the vacation, alteration, or amendment, the county manager or land use authority may vacate, alter, or amend the plat, any portion of the plat, or any road or lot.”<sup>33</sup>

### **Planning Commission Error**

4. The central issue is whether the Planning Commission made an error in not approving the plat amendment by removing Plat Note #5. The process to determine such is straight forward. We look at the facts *de novo* and decide (a) whether there is evidence that the public or a person “will be materially injured” by removing the plat note, and (b) whether there is evidence of “good cause” to remove the plat note. If the facts show that someone will be materially injured or that there is no good cause, then we affirm the Planning Commission’s land use decision. However, if the facts show that there is no material injury and there is good cause, then we must conclude that the Planning Commission erred and reverse their decision.

5. While there certainly is testimony from residents in the area about increased traffic from six (6) additional condominium units, such testimony is not compelling in the face of: (a) the County Engineer’s determination that a new traffic study is not required because the impact of so few units will be minimal on traffic;<sup>34</sup> and (b) there is already increased traffic from seventy-five

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<sup>33</sup> Summit County Code §10-3-18 (*emphasis added*).

<sup>34</sup> Weight00312.

(75) units that were recently approved.<sup>35</sup> In short, the “character” of the area has already changed. The Code requires materiality in any injury. As Appellant noted, Black’s Law Dictionary defines “material” to mean something that is “important . . . having influence and effect.”<sup>36</sup> We agree with Appellant that “nonexistent or even slight injuries do not meet the ordinance standard. Moreover, alleged but unsupported injuries are not material injuries. . . . [T]he impact on traffic of Applicant’s six (6) unit project is so minimal that a traffic study is not even required for approval of the project. Slight inconveniences are not material injuries.”<sup>37</sup>

6. While Appellant encourages us to find good cause to correct a past mistake, we are not persuaded to make that determination given that the statute of limitations on the decision regarding Plat Note #5 has already expired. Rather, we feel that good cause is satisfied because, in our opinion, the Weight Townhouse Subdivision is functionally landlocked (even if it is not legally landlocked). In our estimation, the lack of a primary vehicular access to vested hotel/lodging units in a ski resort is not reasonable. Requiring patrons to park at the Hyatt Centric and walk over an existing ski easement during the winter season to the condominiums is not a reasonable solution for responsible development, nor is tearing out the existing infrastructure to make the access from the Hyatt Centric to the Weight Townhouse Subdivision vehicle-accessible. Removal of the plat note will grant the primary vehicular access needed for a successful hotel/lodging project in the Canyons resort. Such satisfies good cause.

### **Grant of Appeal**

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<sup>35</sup> Testimony of Tiffanie Robinson, County Planner, November 29, 2023 hearing.

<sup>36</sup> <https://thelawdictionary.org/material/>

7. For the above reasons, we conclude as follows:
  - a. the Planning Commission erred in its decision to deny the amendment to the Weight Plat;
  - b. the Weight Plat amendment is approved;
  - c. Plat Note #5 is hereby removed from the Weight Plat; and
  - b. by stipulation of Appellant and the County, as a condition of this approval, Appellant may only locate 25,000 sf of hotel/lodging use in the Weight Townhouse Subdivision, with the remaining excess vested density available for transfer to another site within the Canyons Specially Planned Area in accordance with the Canyons DA.
8. The Appeal is granted.

This is the final administrative decision of Summit County and is appealable pursuant to Utah Code §17-27a-801 within thirty (30) days of the Effective Date to the Third District Court of Summit County.

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<sup>37</sup> Weight00717.

DATED this 12<sup>th</sup> day of December, 2023.

COUNTY COUNCIL  
OF SUMMIT COUNTY



By: \_\_\_\_\_  
Roger Armstrong  
Chair

ATTEST:



\_\_\_\_\_  
Evelyn Furse  
County Clerk

APPROVED AS TO FORM:



\_\_\_\_\_  
David L. Thomas  
Chief Civil Deputy

February 24, 2022

Tiffany N. Robinson, County Planner  
Summit County Planning Department  
PO Box 128  
Coalville, UT 84017

Re: CVMA Letter of Recommendation – Weight Parcel

Mrs. N. Robinson,

The DRC finalized their review of the Weight Parcel project during their October 14, 2021 meeting. The DRC reviewed the plans for compliance with CVMA development and architectural guidelines, approval of site access was not reviewed as that is under Summit County jurisdiction. DRC forwards their positive recommendation to the County subject to the following conditions:

Prior to Planning Commission Approval:

- 1) Storm Water review letter by Talisman Civil Consultants indicating compliance. The DRC may need to review any proposed modifications should they require substantial adjustments to the Site Plan.

Prior to the issuance of a Building Permit:

- 2) Prior to the issuance of a building permit, the CVMA must review and approve of the proposed community CC&Rs. CC&Rs must reflect language regarding the CVMA assessments specific to billing, collection, and remittance procedures. Additionally, the CC&Rs must include language governing exterior maintenance responsibilities to guarantee long-term, cohesive, and high-quality exterior maintenance.
- 3) CVMA must review and approve of any proposed rooftop HVAC equipment and venting.
- 4) CVMA must review and approve of final signage plan for the project.

EXHIBIT D

- 5) A copy of the proposed County Development Improvement Agreement must be provided to the CVMA prior to the issuance of a building permit.
- 6) Compliance with section 2.9.4 of the SPA Development Agreement outlining concurrency with Summit County Code as well as the SPA Development and Management Agreements.
- 7) The developer and appointed general contractor must meet with the CVMA to discuss the proposed Construction Management and Mitigation Plan. This plan will include construction staging, parking, laydown, SWPPP representative appointee, hours of operation, insurance, etc.
- 8) The developer will provide payment of applicable fees, a signed Construction Mitigation & Management Agreement and a signed Construction Management & Mitigation Performance Agreement must be submitted to the CVMA.

Prior to the issuance of any Certificate of Occupancy:

- 9) The developer will contact the CVMA in writing for a property inspection to be scheduled 30 days prior to the issuance of any Certificate of Occupancy. As part of this inspection process, the applicant must fill and sign a CVMA Density Verification Form for all units scheduled for inspection. This is required for each Certificate of Occupancy issued in the event of a phased approach.

Thanks, and please feel free to contact me with any questions,

On behalf of the Design Review Committee:



John Simmons  
Planning and Operations Manager  
Canyons Village Management Association

E-Copied: Tony Tyler, Columbus Pacific Development

## Appendix A: Resort Core Site Specific Guidelines

<b>Site:</b>	W1
<b>Parcel Use:</b>	Lodging
<b>Site Area:</b>	-
<b>Gross Bldg. Footage:</b>	175,000 sq. ft.
<b>Commercial Area:</b>	38,000 sq.ft.
<b>Accommodation Area:</b>	137,000 sq.ft.
<b>Building Height:</b>	2 to 5 storeys

### Applicable Guidelines:

The Canyons SPA  
The Canyons Design Guidelines

### Design Approvals required:

Design Review Panel (Master Association),  
Summit County Planning Department,  
Snyderville Basin Planning Commission,  
Board of County Commissioners

### General Intent:

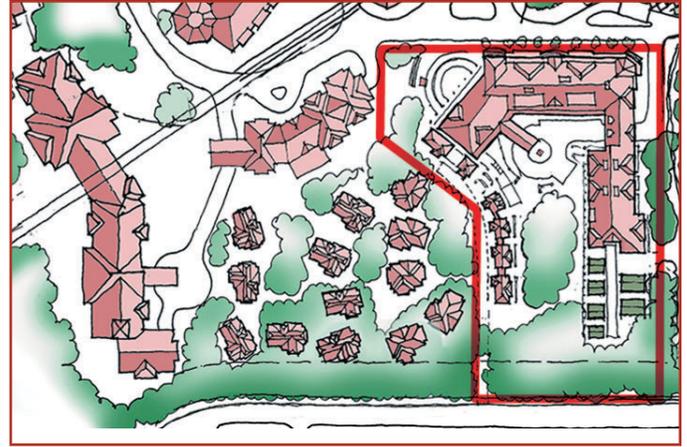
This parcel is comprised of a Lodge-use building fronting High Mountain Road with associated lower scale Residential to the south.

This parcel is a transitional site at the edge of the Village Core, therefore there are a number of setbacks, height requirements, trails, open space, etc. as noted below:

### Setbacks, Buffers

1. The north boundary of the site fronts High Mountain Road. Building frontage should have a continuous street wall condition with a retail/commercial podium at the ground floor. The commercial setback is a min. 12 ft. and is encouraged to create a pedestrianized retail edge with a hard surface from curb to face of building with appropriate landscape. Above, residential floors setback a minimum of 12 ft. (total 24 ft. min. setback) to create the podium base and provide for snow management as per the design guidelines.

2. In a rural area it is important to buffer existing development such as that along Red Pine Road. Therefore there is a 50 ft. setback from the edge of the Red Pine Road right-of-way within which no building shall occur. It is expected that this will be extensively landscaped and that the landscaping would



### KEY PLAN

continue into the right-of-way to the back of curb of Red Pine Road.

3. The Masterplan has called for Village Open Space at flanking side yards to this parcel. Development should respond with 'soft edge', naturalistic landscape at the side yards and coordinate trail access with the Resort.

### Building Heights and Massing

1. The paved frontage along High Mountain Road is intended to have a 'hard edge' to the northeast corner with retail as noted. Building heights are permitted to rise to a maximum 5 storeys from the setbacks and are expected to step down towards building ends as per the Guidelines.

2. A maximum 2-storey building height is permitted adjacent to the Red Pine Road landscape buffer.

### Linkages

1. This parcel is adjacent to significant pedestrian/bike and ski trails and open space at two of its boundaries and development should respond to these edges with appropriate landscape and massing.

### Other Design Criteria

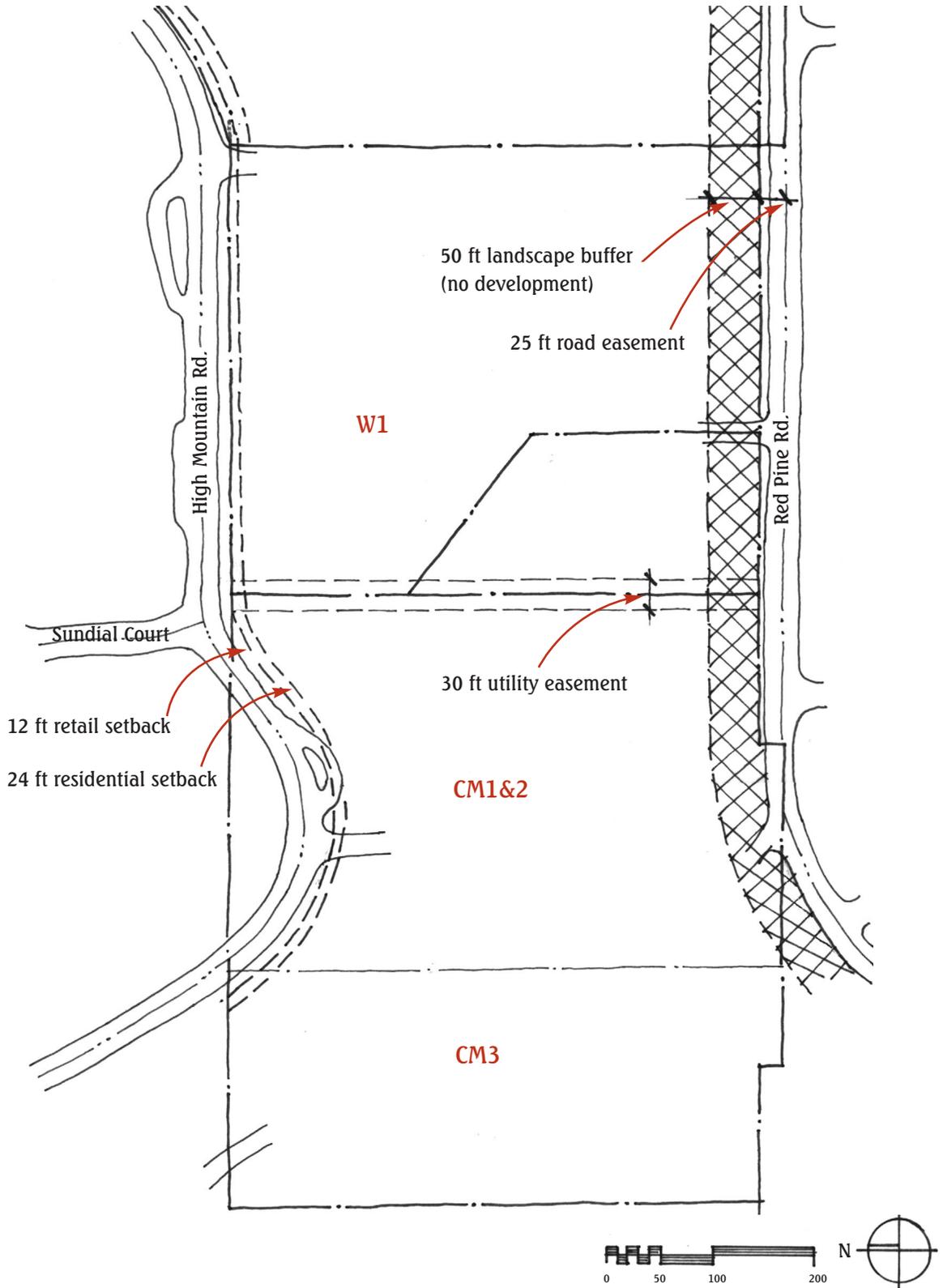
1. The axis of roadways create special view corridors and provide orientation. The northeast building corner is along a view corridor down High Mountain Road. There should be significant architectural treatment to the building at this location.

2. Lower scale Residential Chalets should be sited in a more naturalistic landscape associated with adjacent landscape buffer and open space.

# Resort Core Site Specific Guidelines

## Parcels: W1, CM1, CM2, CM3

### BUILDING SETBACKS



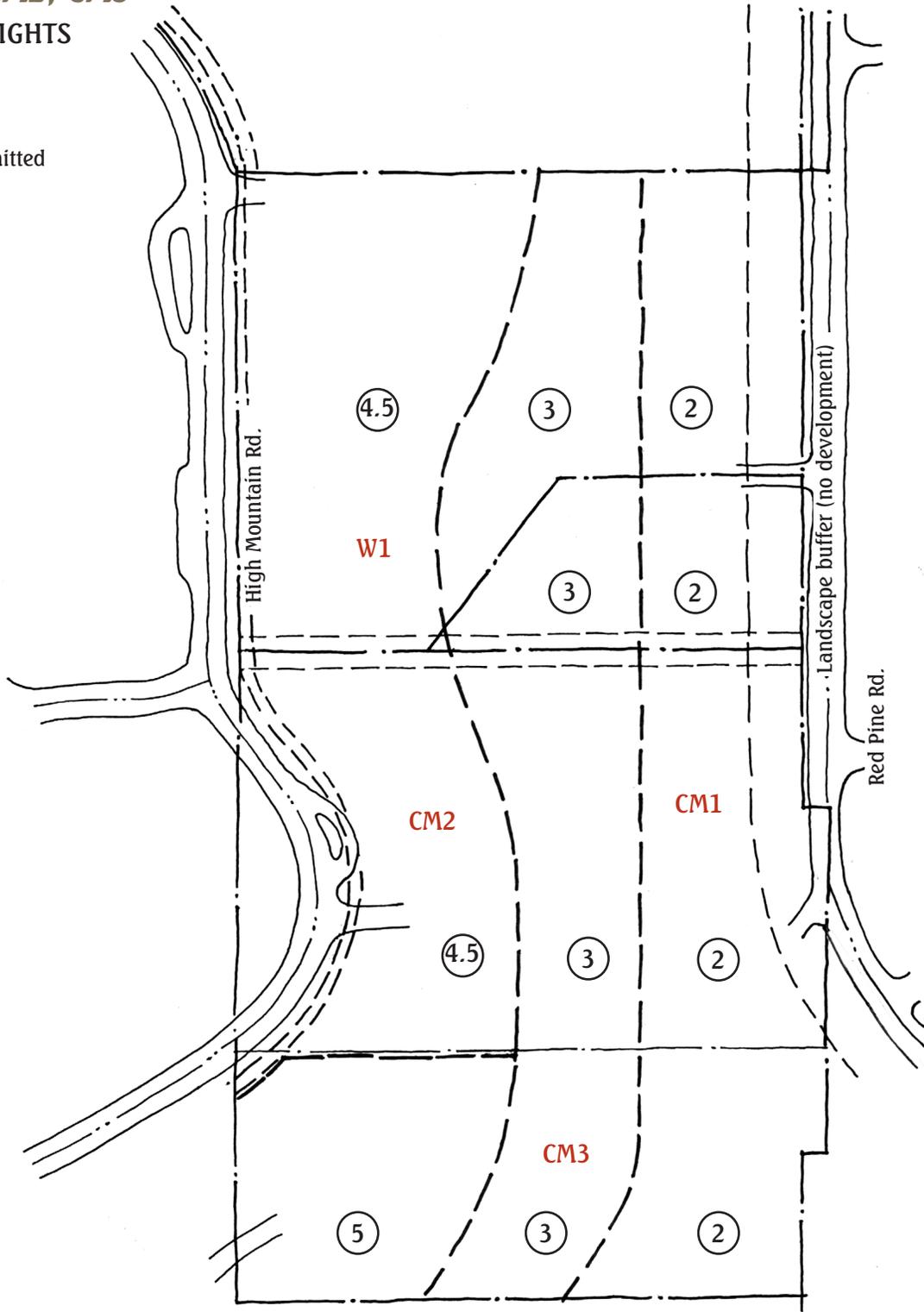
# Resort Core Site Specific Guidelines

## W1, CM1, CM2, CM3

### BUILDING HEIGHTS

#### Legend

○ Storeys permitted



# Resort Core Site Specific Guidelines W1, CM1, CM2, CM3

## SITE PLANNING/MASSING

### Legend

○ Storeys permitted

Modulate building forms to create interesting outdoor spaces and to reduce effective building length and mass

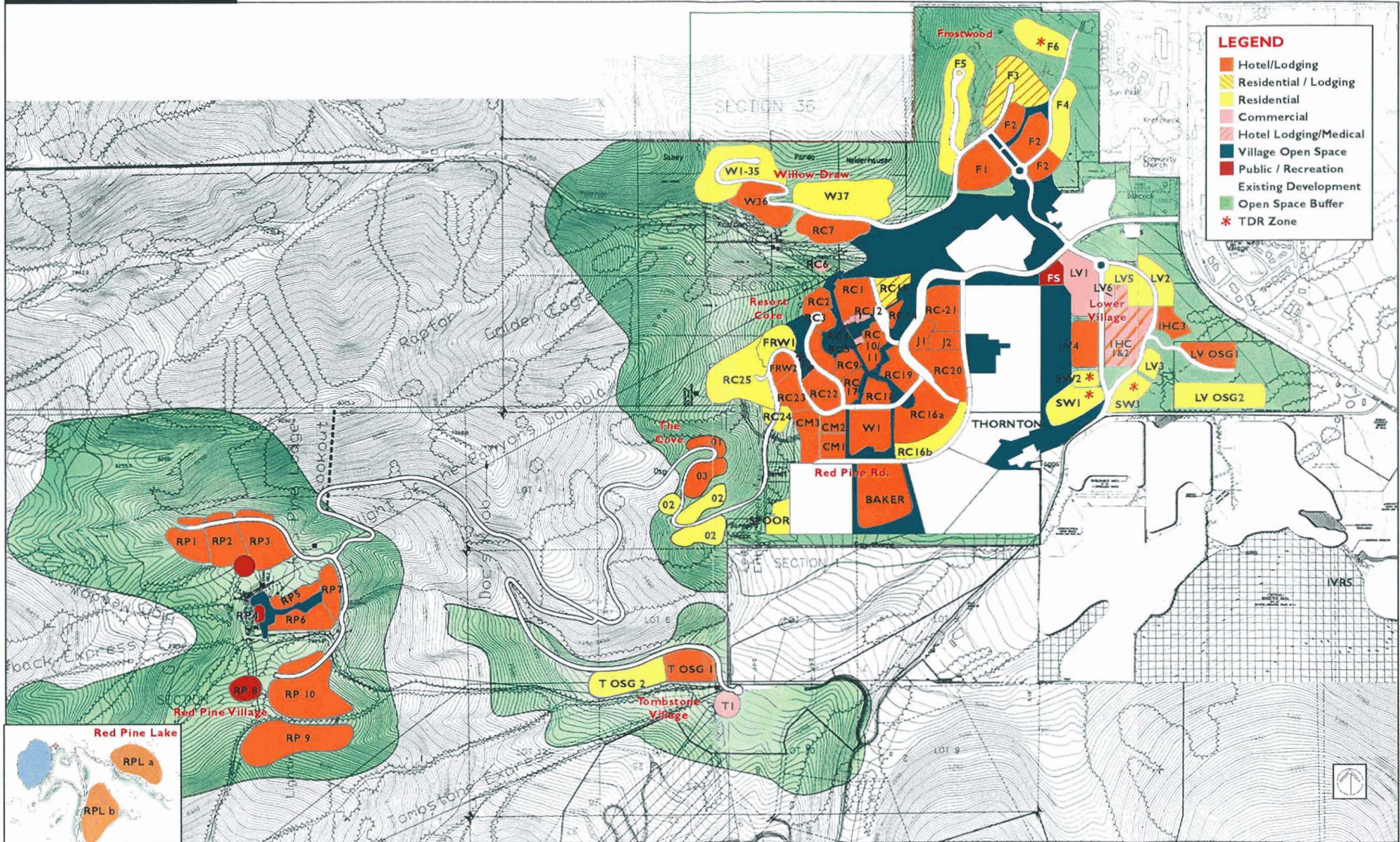
Modulate building height and massing to add visual interest and reduce mass and scale

Lower scale residential sited in naturalistic setting adjacent to green space





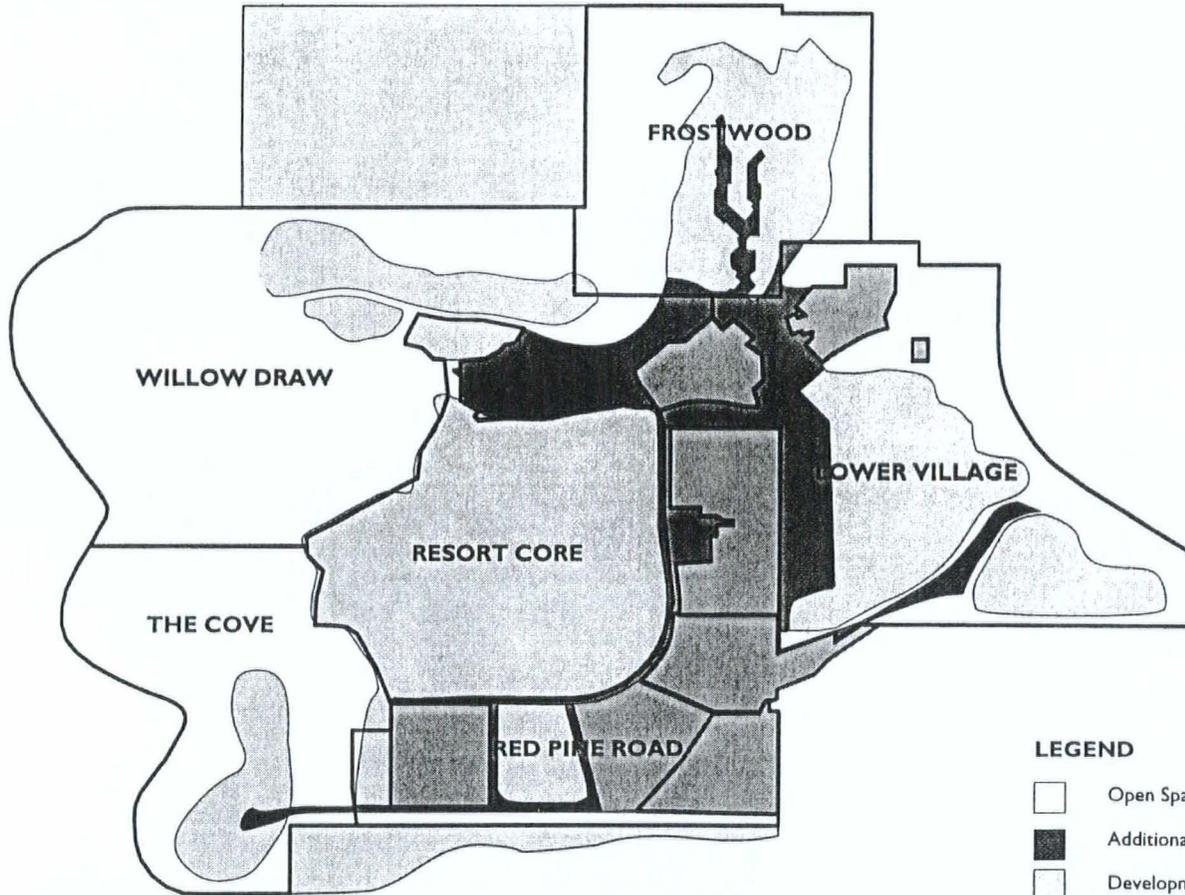
LAND USE ZONING



EXHIBIT# B.1 NOVEMBER 1999



## RESORT CENTER: PLANNING CELLS



### LEGEND

	Open Space Buffer	257.5 acres	acres 51%
	Additional Open Space	51.5 acres	acres 10%
	Development Sites	205 acres	acres 41%
		515 acres	acres 100%
	Existing development		

November 1999

H.2.4 - The Canyons Open Space Summary

	Parcel	Acres Protected	Benefits	Protection Method
1.	Master Planned Open Space, about 93%	4200	Immediately protects all non-development lands for recreational and agricultural uses.	Development Agreement
2.	Viewshed Preservation Areas	SPA - 3169 USFS - 782 Total 3951	Mid and long views of the mountains from the Basin remain undisturbed.	Development Agreement - Viewshed Preservation Area enforced through site plan reviews prior to new on-mountain construction.
3.	Resort Center: Open Space & Buffer Lands	320	Protect buffer and open space for active and passive recreational uses including golf.	Deed Restrictions.
4.	On-site TDRs:			
	a. Neiderhauser	5	Viewshed Protection	Deed restriction or conservation easement
	b. Snyderville West	15	224 Buffer, near viewshed protection	"
	c. Babcock	6	224 Buffer, resort entry, near viewshed protection	"
	d. Parkway Land	5	Viewshed Protection	"
	e. Sabey	5	Viewshed Protection	"
5.	Significant Open Space Protection with TDRs:			
	a. Swaner Memorial Park	94	60 lot subdivision converted to major community park expansion through TDR program.	Conservation Easement
	b. Mutcher	0.33	224 Corridor enhancement	Conservation Easement
	b. Frostwood,	To be determined	Buffer and golf course. 3 acres for 50 UEs to County for future.	Deed restrictions
	c. Snyderville West,	To be determined	224 Buffer, near viewshed protection, golf course. 4 acres for 50 UEs to County for future use.	Deed restrictions

	d. The Colony	To be determined	Future protection of off site lands in Basin. 5 TDRs to County.	To be determined in future.
	e. Mines Ventures	To be determined.	Future protection of off site lands in Basin. 1 TDR to County.	To be determined.
6.	<b>Parks &amp; Trails</b>	To be determined	Provides for pedestrian connections and pocket and other parks on individual Project Sites	Deed restrictions or easements at Site Plan approval.
7.	<b>Murdock Peak Area</b>	320	High mountain use remains as is forever for wildlife, hiking and other back country activities.	Conservation easement.
8.	<b>Inst. &amp; State Trust Lands</b>	520	Developable lands surrounding Red Pine Village are permanently protected for on-mountain recreational uses only.	Conservation easement.

NOTES:

- Parcel 1 as depicted on this Plat was withdrawn from the Escala Lodges condominium regime pursuant to: (i) Article 8 of the Second Amended and Restated Declaration of Condominium Escala Lodges recorded on May 3, 2012 as Entry No. 944745 in Book 2126 at Page 1906 in the office of the Summit County Recorder, (ii) the First Amendment to Second Amended and Restated Declaration of Condominium for Escala Lodges recorded May 17, 2012 as Entry No. 00945466 in Book 2126 at Page 1223 in the office of the Summit County Recorder, and (iii) the First Amendment to Amended and Restated Condominium Plat Escala Lodges Condominiums to Withdraw Land.
- This plat hereby creates the WEIGHT CONDOMINIUMS as a separate and independent parcel with the density set forth herein.
- Notwithstanding the removal of Parcel 1 from the Escala Lodges Condominium Plat, Parcel 1 shall continue to have the development rights as set forth on the Plat, which includes the right to develop 36,760 square feet of residential space on Parcel 1 and 33,813 square feet of commercial space on Parcel 1.
- The owner of Parcel 1, its successors and assigns, has right to access, use and enjoy the RVMA nonexclusive Ski and Pedestrian Trail, pursuant to that certain Nonexclusive Pedestrian and Ski Access Easement recorded on July 9, 2009 as Entry No. 877139, in the Summit County Recorder's Office.
- Primary access to the project will be from the Reservation Desk at Hyatt Centric pursuant to the Canyons SPA (as defined in Note 11) and the SPA Development agreement (as defined in Note 11).
- A 10 foot wide Public Utility easement exists around the perimeter of the subject property.
- Pursuant to the Declaration of Covenants, Conditions and Restrictions for WEIGHT CONDOMINIUMS (the "Declaration"), the Weight Townhomes Owners Association, Inc., a Utah non-profit corporation (the "Association") is responsible for maintaining the Common Areas and Facilities, and the Association shall have a perpetual non-exclusive easement over the project property, including the Residential Units, for such maintenance purposes as further described in the Declaration.
- Access to each Residential Unit is by an easement granted in the Declaration over the Shared Driveway and drive aisles comprising part of the Commercial Unit.
- The Commercial Unit is owned and controlled by the Commercial Unit Owner and is not part of the Common Areas and Facilities for the project. The Commercial Unit Owner is obligated to maintain and repair the Commercial Unit. However, the costs for such maintenance and repairs will be paid by the Residential Unit Owners as part of their assessments in exchange for certain easements and use rights on and over the Commercial Unit, including the Shared Driveway, all as further described in the Declaration.
- All parking within the project shall be exclusively in a garage comprising part of a Residential Unit or in a driveway comprising part of the Limited Common Areas and Facilities appurtenant to such Residential Unit.
- The project is situated within a portion of the area constituting and referred to as the "Resort Core" development area (the "Resort Core") which is a part of the Canyons Specially Planned Area Zone District (the "Canyons SPA") established pursuant to Summit County Ordinance No. 333A, approved November 15, 1999, as amended, and generally depicted and described in the Amended and Restated Development Agreement for the Canyons Specially Planned Area, dated November 15, 1999, and recorded November 24, 1999, as Entry No. 553911, in Book 1297, beginning at Page 405, in the official records of the Summit County, Utah Recorder (as amended, the "SPA Development Agreement").

- By acceptance of a deed to a Residential Unit, each Residential Unit Owner hereby agrees and acknowledges the project is located near or adjacent to a public skiing facility known as the Canyons Village at Park City (the "Ski Facility"), which area may generate an unpredictable amount of visible, audible and odor impacts and disturbances from activities relating to the construction, operation, use and maintenance thereof. The activities associated with the Ski Facility include, without limitation: (i) vehicular and residential traffic, including, without limitation, (a) buses, vans, snowcoats, snowmobiles and other vehicles which transport residents and guests around and through the Ski Facility, and (b) construction vehicles and equipment; (ii) activities relating to the construction, operation and maintenance of ski trails, skiways and skier bridges and tunnels relating to the Ski Facility, including, without limitation, (a) construction, operation and maintenance of access roads serving the Ski Facility, snow-making equipment and chair lifts, gondolas and other skier transportation systems, and (b) operation of snow-grooming vehicles and equipment, and safety and supervision vehicles; and (iii) activities relating to the use of the Ski Facility, including, without limitation, skiing, snow-boarding, hiking, horseback riding, bicycling and other recreational activities. By acceptance of a deed to a Residential Unit, each Owner also agrees and acknowledges that neither Commercial Unit Owner nor Declarant is the operator of the Ski Facility, and accordingly, the Commercial Unit Owner and Declarant cannot make any representations relating thereto. Neither the Commercial Unit Owner nor the Declarant nor any of their respective employees or agents can make any representations regarding the opening or closing dates of the Ski Facility or other nearby ski areas in any given year. Each Residential Unit Owner fully understands that the operator of those ski areas may decide, in its sole discretion, whether any or all of the ski lifts within those ski areas should be operated.
- This survey was performed in conjunction with a Commitment for Title Insurance, Commitment No. 29629, issued by Coalition Title Agency with an effective date of January 18, 2022.
- Alliance Engineering Record of Survey S-10094 was used as the basis of this survey. Exception 31.
- Areas:  
Parcel 1: 40,031 sq ft = 0.92 acres

SURVEYORS CERTIFICATE

I, Michael Demkowicz, do hereby certify that I am a Professional Land Surveyor and that I hold License No. 4857264 as prescribed by the laws of the State of Utah, and that I have caused to be made under my direction and by the authority of the owner, CPD THPC LLC, a Delaware limited liability company, in accordance with the provisions of the Utah Condominium Ownership Act. I further certify that the information shown herein is correct.

LEGAL DESCRIPTION

Parcel 1:  
Lot 1, of that certain plat entitled "Weight Townhouse Subdivision", which plat was filed in the Office of the Recorder of the County of Summit, State of Utah on February 26, 2013 as Entry No. 964263.

Parcel 2:  
Together with and subject to an undivided interest in a perpetual right-of-way and easement for roadway purposes and for the construction, alteration, maintenance and repair of underground utilities including water, electrical power, telephone and natural gas, fifty (50) feet in width, twenty-five (25) on either side of the following described center line:  
Beginning at a point in the south line of a county road which is 1253 feet North and 750 feet West from the northeast corner of Section 1, Township 2 South, Range 3 East, Salt Lake Base and Meridian, and running thence South 680.6 feet; thence South 10'00" East 355 feet; thence 1,112.96 feet along the arc of a 636.62 foot radius curve to the right; thence West 581 feet.

OWNER'S DEDICATION AND CONSENT TO RECORD

KNOW ALL MEN BY THESE PRESENTS that CPD THPC LLC, a Delaware limited liability company, the undersigned owner of the hereon described tract of land, and hereby the same is divided into Condominium Parcels, together with easements, if any, as set forth on the Site Plan, hereafter to be known as \_\_\_\_\_

Also, said Owner, hereby dedicates to Summit County, Snyderville Basin Water Reclamation District, Summit Water Distribution company and Park City Fire District, a non-exclusive easement of the utility easements as shown on this Plat, if any, for the purpose of providing access for utility installations, maintenance, use and eventual replacement.

Also, the Property is subject to the terms of the Declaration of Condominium, and Declaration of Covenants, Conditions and Restrictions, and Bylaws of \_\_\_\_\_ a Utah Condominium Plat recorded in the office of the Summit County Recorder, Summit County, Utah.

By: \_\_\_\_\_  
Its: Authorized Representative

ACKNOWLEDGMENT

STATE OF UTAH )  
                          ) ss.  
COUNTY OF SUMMIT )  
On this \_\_\_\_\_ day of \_\_\_\_\_, 2022, personally appeared before me, Tony Tyler, who being by me duly sworn did say that he is the authorized representative of CPD THPC LLC, a Delaware limited liability company, and that he signed the above Owner's Dedication and Consent to Record for, on and in behalf of CPD THPC LLC, a Delaware limited liability company.

By: \_\_\_\_\_  
Notary Public

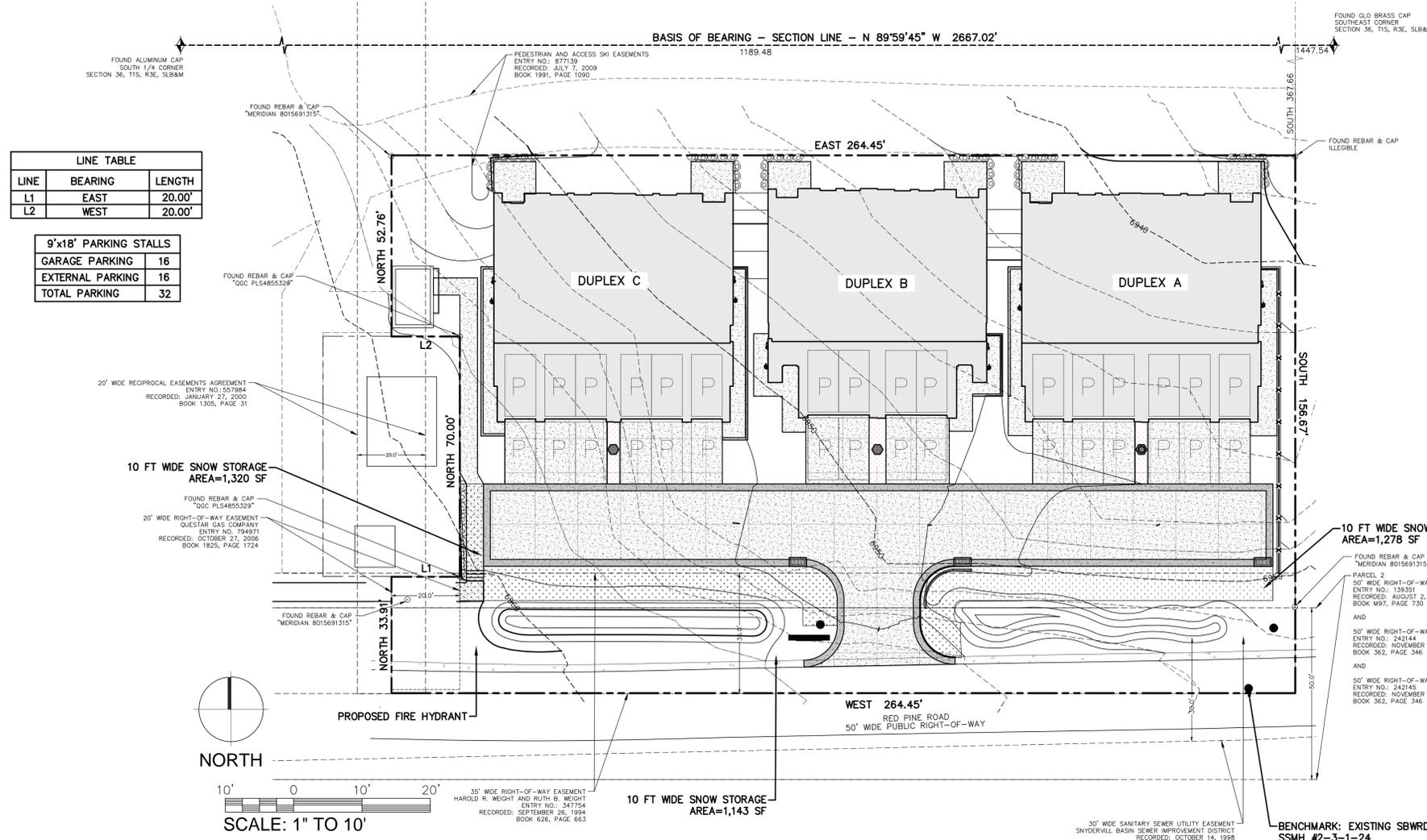
Printed Name: \_\_\_\_\_

Residing in: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Commission No.: \_\_\_\_\_

1. Provide title report.



LOCATED IN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 3 EAST, SALT LAKE BASE & MERIDIAN COUNTY OF SUMMIT, STATE OF UTAH



ELLIOTT WORKGROUP, LLC  
1441 West Ute Blvd, Suite 100  
Park City, Utah 84098  
435-649-0092 or 801-415-1839  
elliottworkgroup.com



Columbus Pacific Development LLC  
Elevation at Canyons Village  
2306 W. Red Pine Rd.  
Park City, UT 84098



Rev. Date Description

ISSUE DATE: 2022.10.07  
OWNER PROJECT NO: .  
CONTRACT NO: .  
DRAWN BY: .  
CHECKED BY: .  
DESIGNED BY: .  
EWG PROJECT NO: 2019-58  
COPYRIGHT: Elliott Workgroup Architecture, LLC, 2022  
SHEET TITLE

CONSTRUCTION SITE PLAN

C-100



<p><b>ROCKY MOUNTAIN POWER</b> THE UTILITY EASEMENTS SHOWN HEREON HAVE BEEN APPROVED AND ACCEPTED THIS ____ DAY OF _____ 2021 BY: _____ ROCKY MOUNTAIN POWER, A DIVISION OF PACIFICORP., AUTHORIZED AGENT</p>	<p><b>PUBLIC SAFETY ANSWERING POINT APPROVAL</b> APPROVED AS TO FORM THIS ____ DAY OF _____, 2021 BY: _____ SUMMIT COUNTY PUBLIC SAFETY ANSWERING POINT</p>	<p><b>COUNTY MANAGER APPROVAL</b> PRESENTED TO THE SUMMIT COUNTY MANAGER THIS ____ DAY OF _____ 2021 AT WHICH TIME THIS MASTER PLAT WAS APPROVED AND ACCEPTED. ON BEHALF OF THE SUMMIT COUNTY COUNCIL BY: _____ SUMMIT COUNTY MANAGER</p>	<p><b>SUMMIT WATER DISTRIBUTION COMPANY</b> SUMMIT WATER DISTRIBUTION COMPANY WILL DELIVER WATER TO THE PLATTED LANDS AND THE PROPOSED LANDS PURSUANT WITH SUMMIT WATER DISTRIBUTION COMPANY'S ARTICLES OF INCORPORATION, RULES AND REGULATION, BYLAWS AND OTHER CORPORATE DOCUMENTS, AND PURSUANT TO THE DEVELOPMENT AGREEMENT BETWEEN SUMMIT WATER DISTRIBUTION COMPANY AND THE DEVELOPER. APPROVED AND ACCEPTED THIS ____ DAY ____ OF 2021 BY: _____ SUMMIT WATER DISTRIBUTION COMPANY</p>	<p><b>SNYDERVILLE BASIN WATER RECLAMATION DISTRICT</b> REVIEWED FOR CONFORMANCE TO SNYDERVILLE BASIN WATER RECLAMATION DISTRICT STANDARDS THIS ____ DAY OF _____ 2021 BY: _____ ENGINEERING DEPARTMENT</p>	<p><b>THE CANYONS RESORT VILLAGE ASSOCIATION INC.</b> APPROVED AND ACCEPTED THIS ____ DAY ____ OF 2021 BY: _____ AUTHORIZED REPRESENTATIVE</p>	<p><b>SNYDERVILLE BASIN SPECIAL RECREATION DISTRICT</b> APPROVED AND ACCEPTED THIS ____ DAY ____ OF 2021 BY: _____ AUTHORIZED REPRESENTATIVE</p>
<p><b>DOMINION ENERGY COMPANY</b> APPROVED AND ACCEPTED THIS ____ DAY OF _____, 2021 BY: _____ TITLE: _____</p>	<p><b>PARK CITY FIRE DISTRICT APPROVAL</b> APPROVED AND ACCEPTED THIS ____ DAY OF _____, 2021 BY: _____ PARK CITY FIRE SERVICE DISTRICT, FIRE MARSHAL</p>	<p><b>COUNTY ASSESSOR</b> REVIEWED AND ACCEPTED BY THE SUMMIT COUNTY ASSESSOR THIS ____ DAY OF _____, 2021 BY: _____ COUNTY ASSESSOR</p>	<p><b>COUNTY ENGINEER</b> I HEREBY CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED BY THIS OFFICE AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. _____ DATE SUMMIT COUNTY ENGINEER</p>	<p><b>COUNTY PLANNING COMMISSION</b> APPROVED AND ACCEPTED BY SNYDERVILLE BASIN PLANNING COMMISSION THIS ____ DAY OF _____, 2021 BY: _____ COMMISSION CHAIR</p>	<p><b>APPROVAL AS TO FORM</b> APPROVED AS TO FORM THIS ____ DAY OF _____, 2021 BY: _____ SUMMIT COUNTY ATTORNEY</p>	<p><b>RECORDED</b> STATE OF UTAH, COUNTY OF SUMMIT, AND FILED AT THE REQUEST OF _____ DATE _____ TIME _____ ENTRY NO. _____ FEE _____ EXHIBIT F1 RECORDER</p>

JOB NO. 07-11-20 FILE PATH: X:\CanyonsLP\dwg\Weight Townhouse Sub\071120-civil

ELLIOTT WORKGROUP, LLC  
 1441 West Ute Blvd, Suite 100  
 Park City, Utah 84098  
 435-649-0092 or 801-415-1839  
 elliotworkgroup.com



Columbus Pacific Development LLC  
**Elevation at Canyons Village**  
 2306 W. Red Pine Rd.  
 Park City, UT 84098



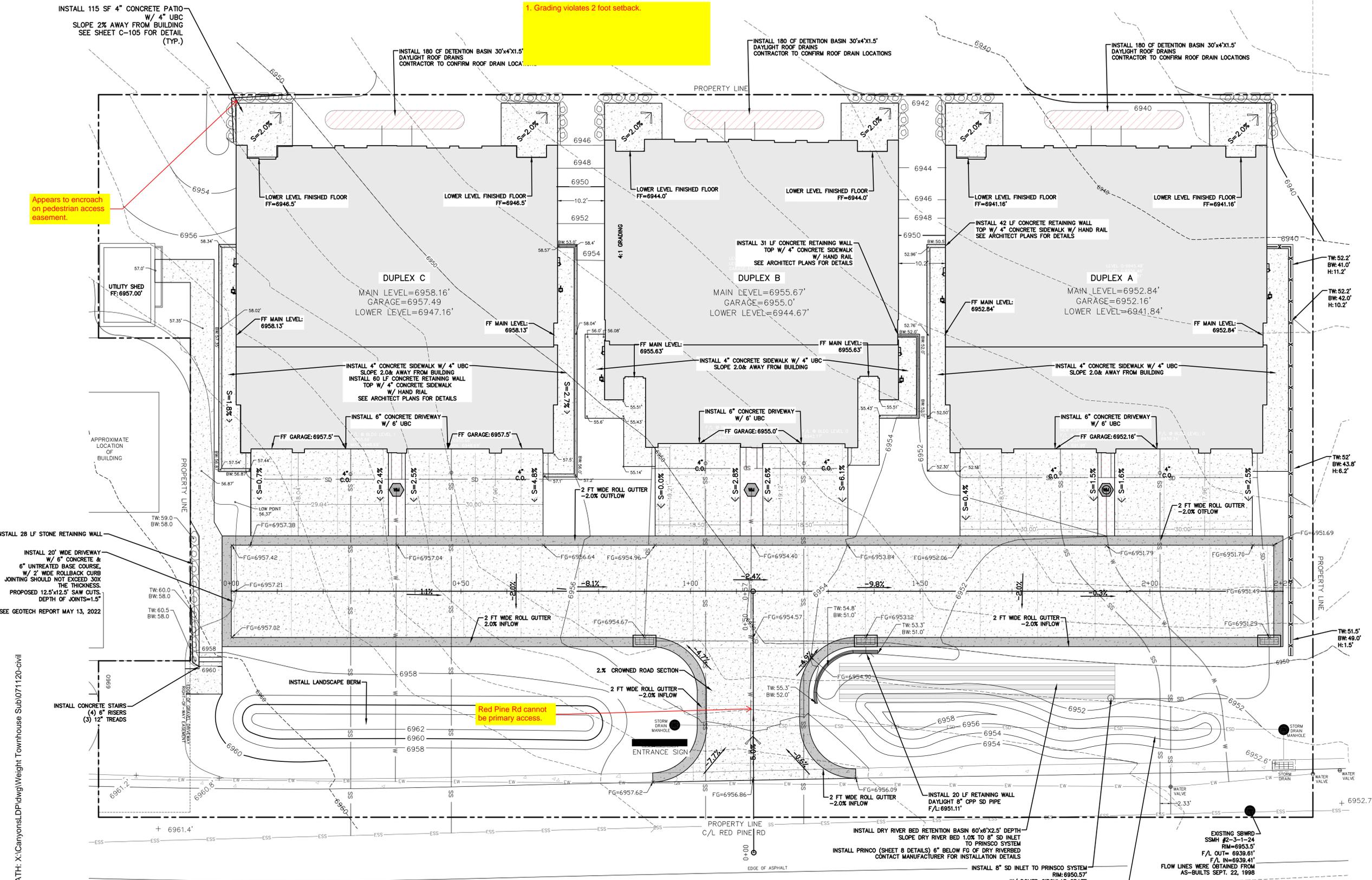
Rev.	Date	Description

ISSUE DATE: 2022.10.07  
 OWNER PROJECT NO: .  
 CONTRACT NO: .  
 DRAWN BY: .  
 CHECKED BY: .  
 DESIGNED BY: .  
 EWG PROJECT NO: 2019-58  
 COPYRIGHT: Elliott Workgroup Architecture, LLC, 2022

SHEET TITLE

GRADING PLAN

**C-102**



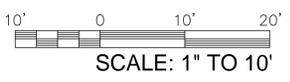
INSTALL 115 SF 4" CONCRETE PATIO  
 W/ 4" UBC  
 SLOPE 2% AWAY FROM BUILDING  
 SEE SHEET C-105 FOR DETAIL  
 (TYP.)

1. Grading violates 2 foot setback.

Appears to encroach on pedestrian access easement.

Red Pine Rd cannot be primary access.

NOTES:  
 1. EXCESS SPOILS QUANTITY MANAGEMENT PLAN:  
 - CUT: 310 CU. YD.  
 FILL: 1,911 CU. YD.  
 NET: 1,001 (FILL) CU. YD.  
 FILL FACTOR OF 1.1



FILE PATH: X:\CanyonsLP\dwg\Weight Townhouse Sub071120-civil

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 Park City, Utah 84098  
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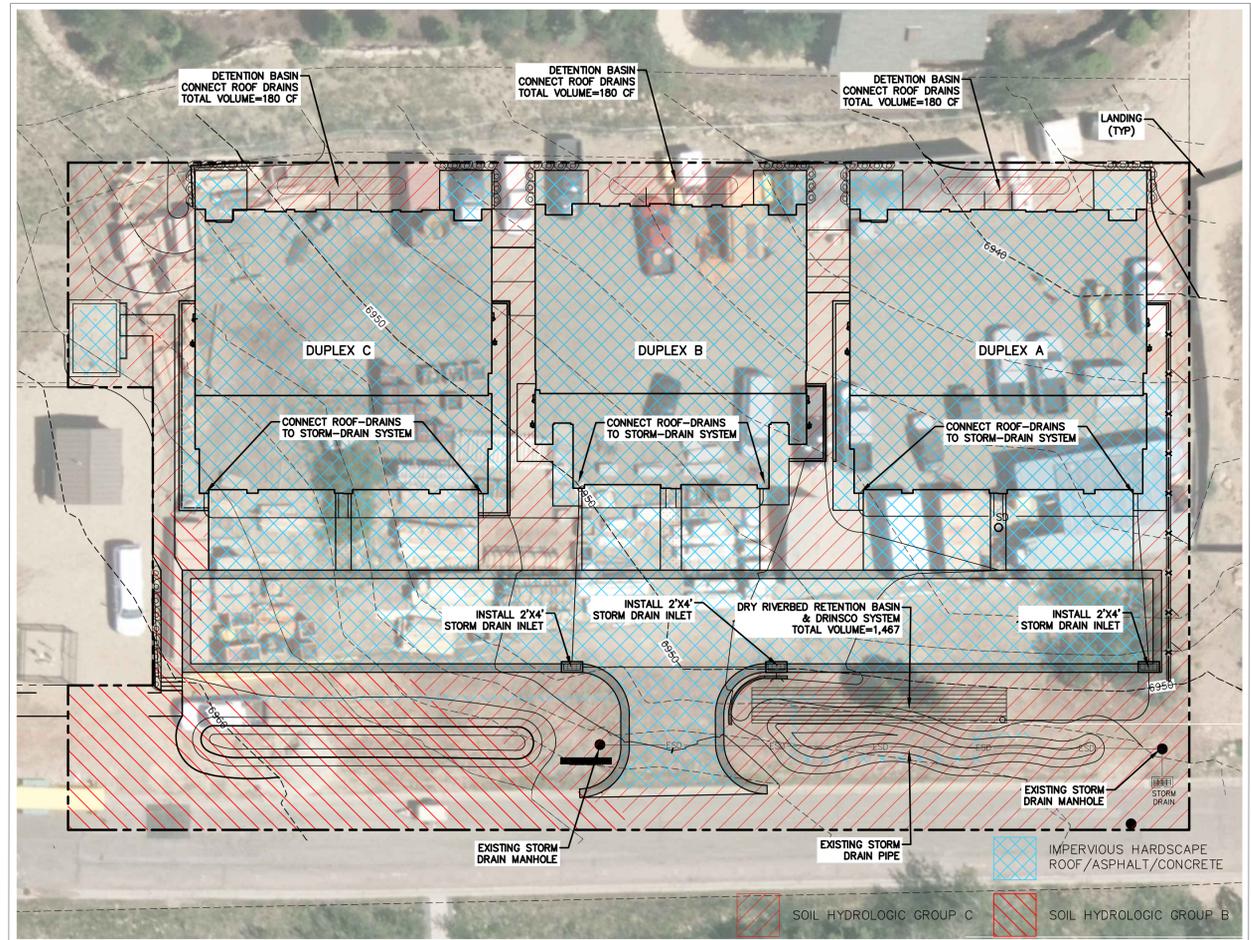
Rev. Date Description

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 DESIGNED BY:  
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 COPYRIGHT: Elliott Workgroup Architecture, LLC, 2022

SHEET TITLE

**STORM WATER DETENTION PLAN**

**C-107**



WATER QUALITY VOLUME CALCULATIONS																																																																						
<b>ASSUMPTIONS</b>	<b>PRE-DEVELOPMENT WATER QUALITY VOLUME</b>	<b>GROUNDWATER RECHARGE VOLUME</b>																																																																				
METHOD OF ANALYSIS: WQ <sub>v</sub> =CITA DESIGN STORM: 90TH PERCENTILE EVENT NOTE: INTENSITY = 0.60 IN/HR PER SUMMIT COUNTY M54.	AREAS FOR WEIGHT AVERAGE "C": <table border="1"> <thead> <tr> <th rowspan="2">SLOPE</th> <th colspan="4">HYDROLOGIC SOIL GROUP</th> </tr> <tr> <th>A</th> <th>B</th> <th>C</th> <th>D</th> </tr> </thead> <tbody> <tr> <td>FLAT (0-2%)</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>AVERAGE (2-6%)</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>STEEP (&gt;6%)</td> <td></td> <td>5,000</td> <td>35,024</td> <td></td> </tr> <tr> <td><b>SURFACING</b></td> <td><b>PERVIOUS</b></td> <td colspan="2"><b>IMPERVIOUS</b></td> <td></td> </tr> <tr> <td>HARDSCAPE</td> <td></td> <td colspan="2"></td> <td></td> </tr> </tbody> </table> A= 40,024 FT <sup>2</sup> C= 0.26 i= 0.05 FT/HR t= 1.00 HR ΔWQ <sub>v</sub> = 525 CU FT	SLOPE	HYDROLOGIC SOIL GROUP				A	B	C	D	FLAT (0-2%)					AVERAGE (2-6%)					STEEP (>6%)		5,000	35,024		<b>SURFACING</b>	<b>PERVIOUS</b>	<b>IMPERVIOUS</b>			HARDSCAPE					ΔWQ <sub>v</sub> = 825 CU FT																																		
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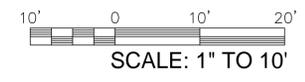
Need to use Granato method.

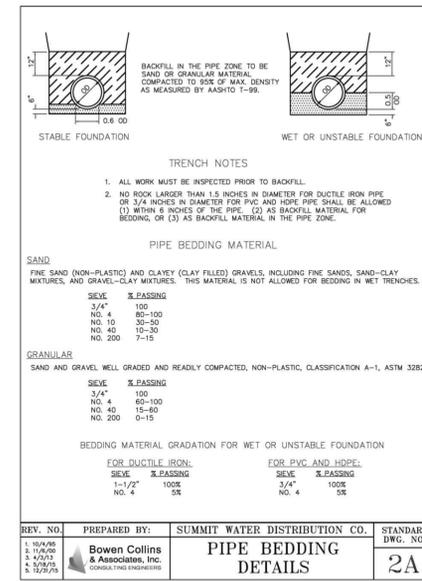
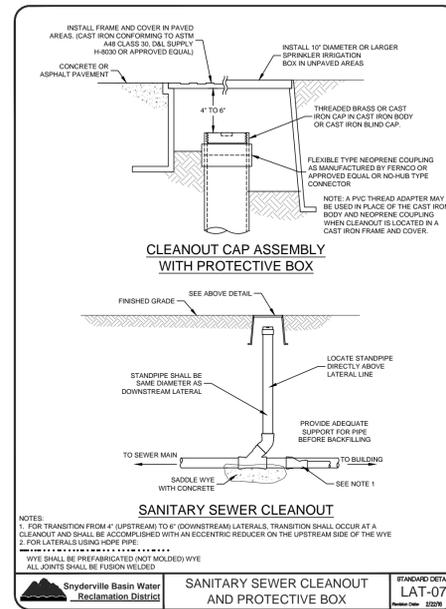
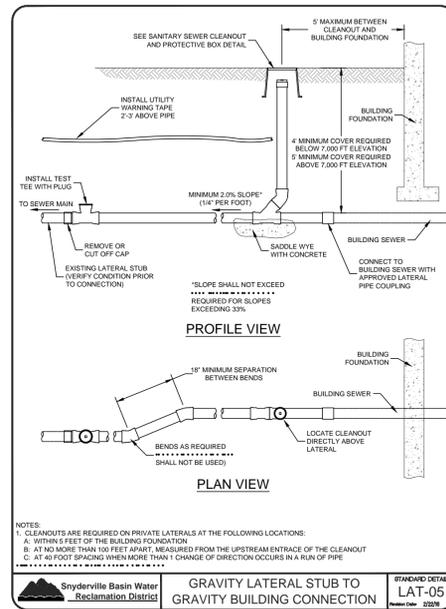
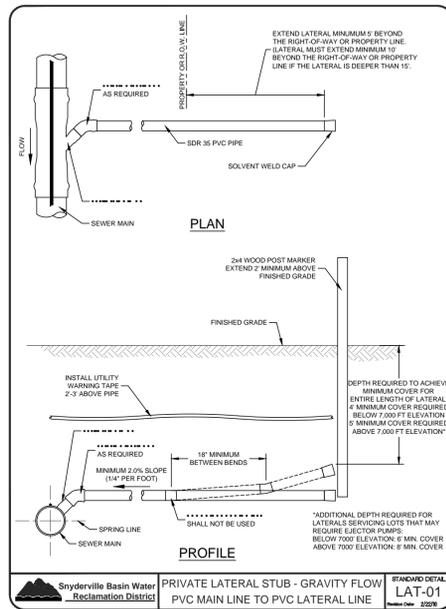
**NOTES:**

1. PEAK RUNOFF VOLUME OF 1430 CU. FT.
2. PROMOTE DRAINAGE TO ROOF-DRAINS AND 2'X4' STORM DRAIN INLETS AND CONNECT TO EXISTING STORM DRAIN SYSTEM. CONTRACTOR TO CONFIRM ROOF-DRAIN LOCATIONS FOR EACH DUPLEX.
3. EXISTING STORM DRAINS OUTLET INTO REGIONAL DETENTION SYSTEM.
4. PRE-DEVELOPMENT DISCHARGE CALCULATIONS WERE DETERMINED BY THE LOT'S NATURAL STATE TO ANALYZE PEAK RUN-OFF VOLUME REQUIREMENTS.
5. SEE DETAILS FOR PRINSCO DESIGN AND CONTACT MANUFACTURER FOR INSTALLATION.

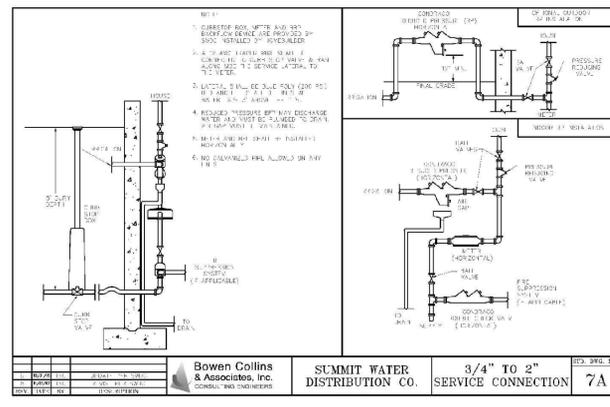
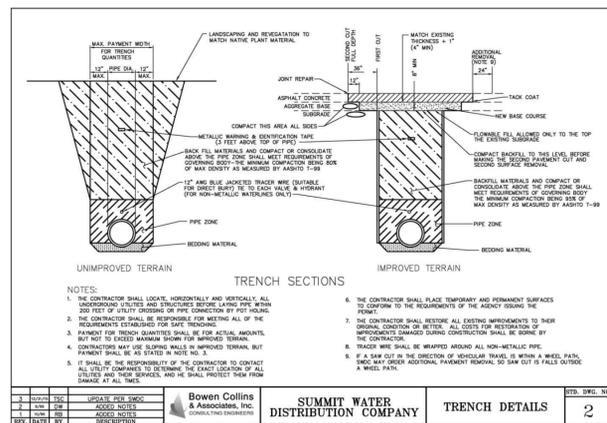
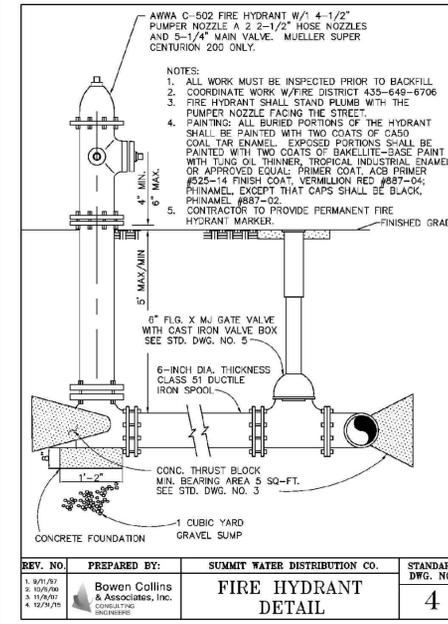
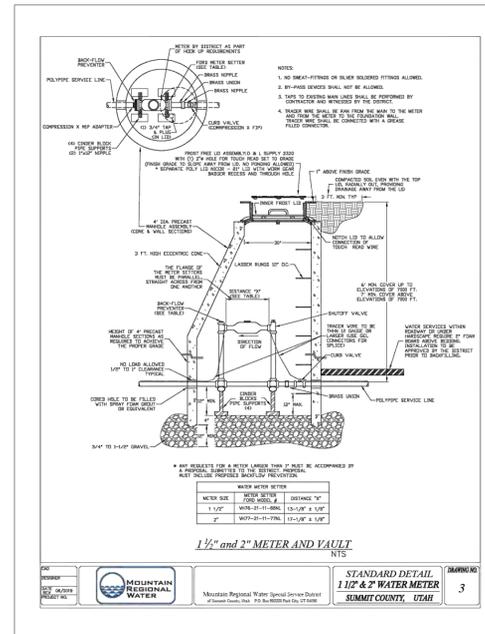
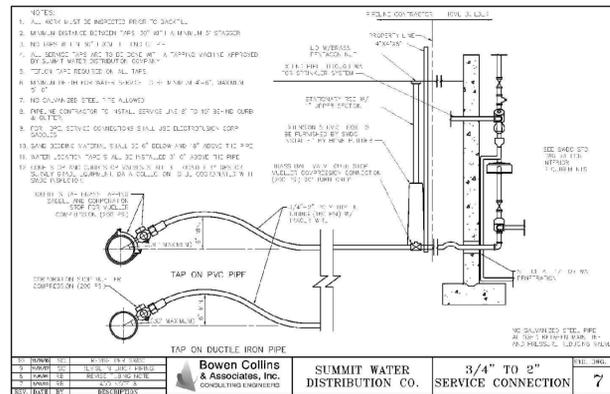
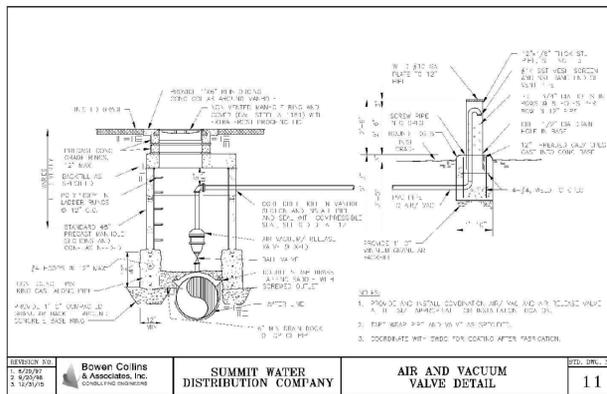
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METHOD OF ANALYSIS: RATIONAL METHOD Q=CIA STORM RETURN PERIOD: 100 YEARS NOTE: FOR THE 100 YR RECURRENT INTERVAL, THE COMPOSITE "C" VALUE IS ADJUSTED BY A FACTOR OF 1.25 BEFORE COMPUTING Q. STORM DURATION: 10 MIN. SOURCE: NOAA ATLAS 14 - PARK CITY RADIO STATION 42-6648	AREAS FOR WEIGHT AVERAGE "C": <table border="1"> <thead> <tr> <th rowspan="2">SLOPE</th> <th colspan="4">HYDROLOGIC SOIL GROUP</th> </tr> <tr> <th>A</th> <th>B</th> <th>C</th> <th>D</th> </tr> </thead> <tbody> <tr> <td>FLAT (0-2%)</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>AVERAGE (2-6%)</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>STEEP (&gt;6%)</td> <td>-</td> <td>0.11</td> <td>0.80</td> <td>-</td> </tr> <tr> <td><b>SURFACING</b></td> <td><b>PERVIOUS</b></td> <td colspan="2"><b>IMPERVIOUS</b></td> <td></td> </tr> <tr> <td>HARDSCAPE</td> <td></td> <td colspan="2"></td> <td></td> </tr> </tbody> </table> A= 0.92 ACRES C= 0.26 C <sub>ADJ</sub> = 0.33 i= 5.00 IN/HR Q = 1.51 CFS	SLOPE	HYDROLOGIC SOIL GROUP				A	B	C	D	FLAT (0-2%)	-	-	-	-	AVERAGE (2-6%)	-	-	-	-	STEEP (>6%)	-	0.11	0.80	-	<b>SURFACING</b>	<b>PERVIOUS</b>	<b>IMPERVIOUS</b>			HARDSCAPE					ΔQ = 2.38 CFS t = 600 SEC. V = 1,430 CU FT																																		
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STORMWATER RETENTION REQUIRED = 1430 CU. FT.  
 STORMWATER RETENTION PROVIDED = 2,007 CU. FT.

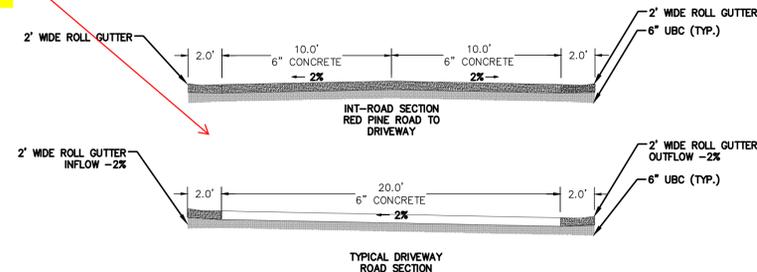




1. Provide curb standard details.



Provide pavement design report.



**Alliance Engineering Inc.**

(435) 649-9467-PHONE  
(435) 649-9475-FAX

CONSULTING ENGINEERS LAND PLANNERS SURVEYORS

323 Main Street, P.O. Box 2664, Park City, Utah 84060-2664

Columbus Pacific Development LLC

**Elevation at Canyons Village**

2306 W. Red Pine Rd.  
Park City, UT 84098

**Professional Engineer**

Michael Denkwicz

No. 4857264  
1/17/2023

Rev. Date Description

ISSUE DATE: 2022.10.07  
OWNER PROJECT NO.:  
CONTRACT NO.:  
DRAWN BY:  
CHECKED BY:  
DESIGNED BY:  
EWG PROJECT NO: 2019-58  
COPYRIGHT: Elliott Workgroup Architecture, LLC, 2022

DETAILS:  
**SANITARY SEWER & WATER**

**C-108**



ELLIOTT WORKGROUP, LLC  
 1441 West Ute Blvd, Suite 100  
 Park City, Utah 84098  
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 2306 W. Red Pine Rd.  
 Park City, UT 84098

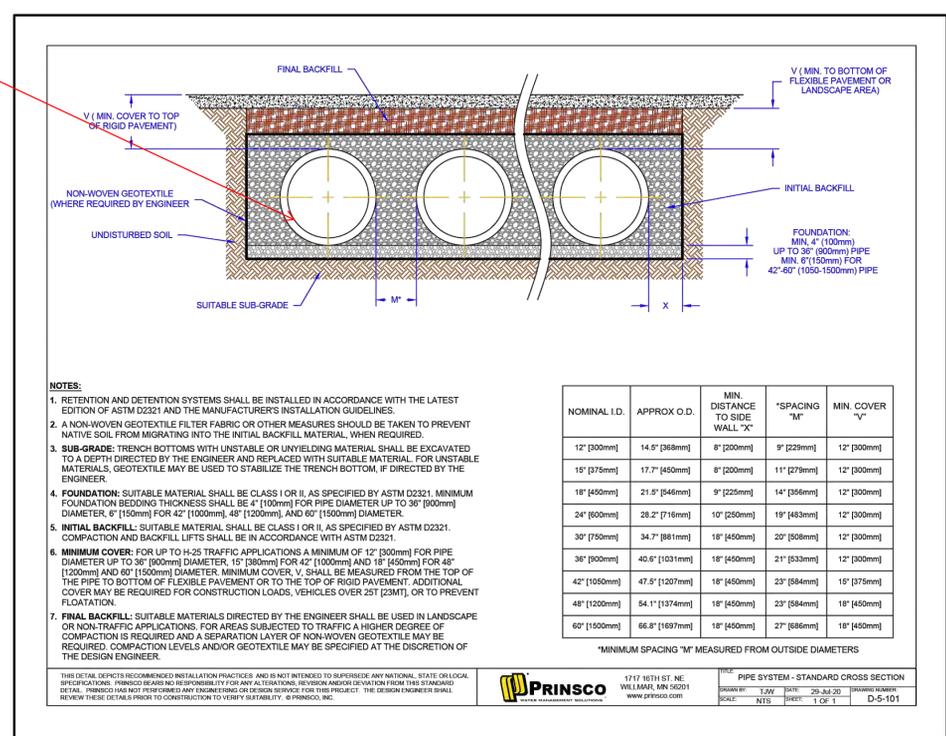
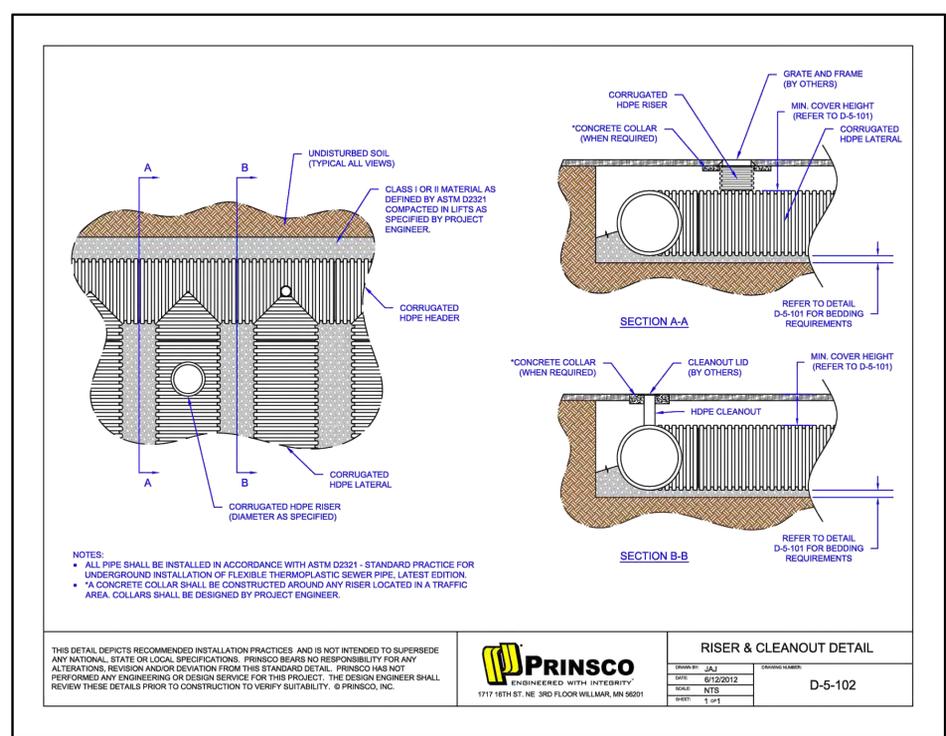
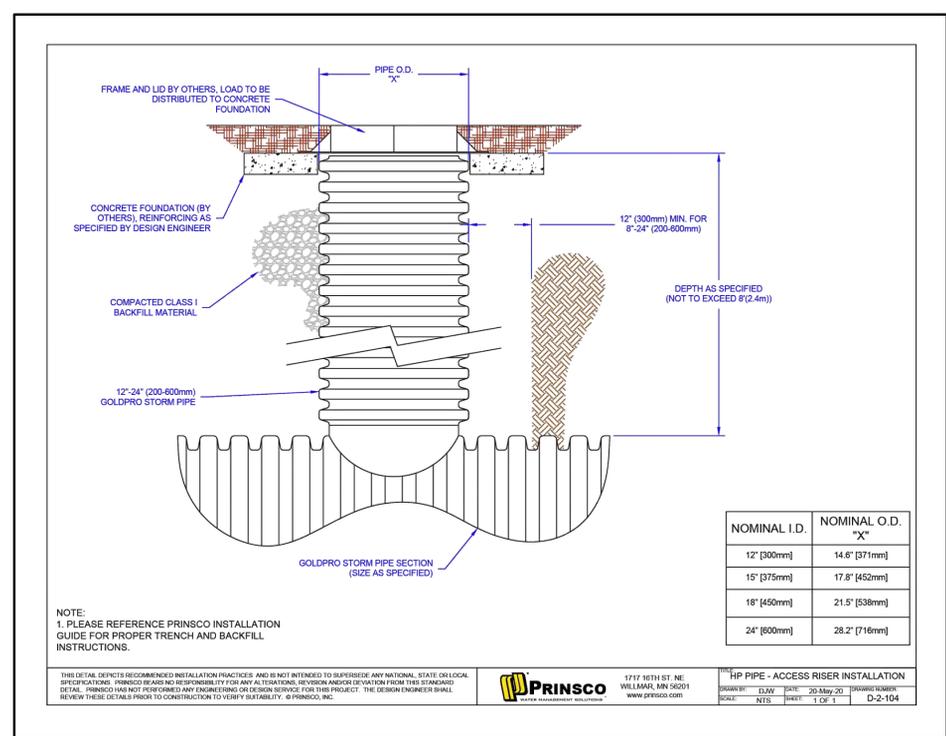


Rev. Date Description

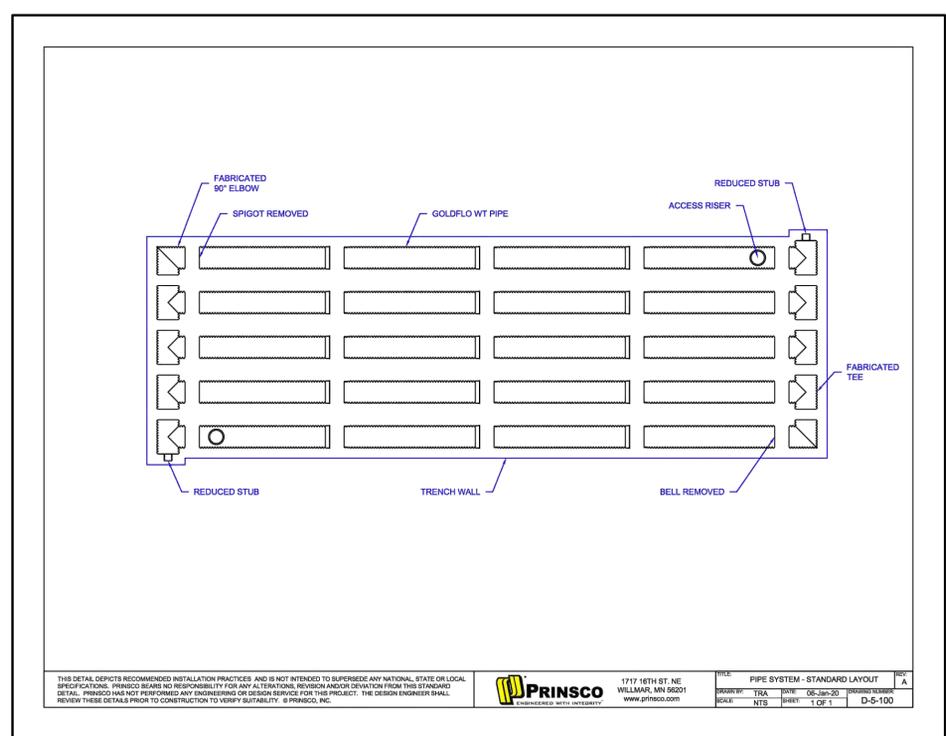
ISSUE DATE: 2022.10.07  
 OWNER PROJECT NO.:  
 CONTRACT NO.:  
 DRAWN BY:  
 CHECKED BY:  
 DESIGNED BY:  
 EWG PROJECT NO: 2019-58  
 COPYRIGHT: Elliott Workgroup Architecture, LLC, 2022

DETAILS:  
**PRINSCO**

**C-110**



Is this pipe permeable? How does the water infiltrate or leave the system?



**From:** [Mike Owens](#)  
**To:** [Tiffanie Robinson](#)  
**Subject:** RE: Weight Parcel - "Elevations Condominiums" FSP Condo Plat and Plat Amendment #22-262 - Service Provider Review  
**Date:** Monday, June 12, 2023 5:52:15 PM  
**Attachments:** [image003.png](#)

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Tiffanie,

I have a couple of questions that need answers.

1. Is the intent of the developer to sell these as individual units? If they are, then how can they be built as duplexes? If this is a condo plat, shouldn't there be property lines between the units? As far as I can tell, this is one parcel with the potential of six individual owners.
2. Since this project is built for the purpose of nightly rentals, I object to these buildings being built under the International Residential Code. It would be more appropriate for these to be built under the Building Code and classified as R-1 occupancies. This will require fire sprinklers and a fire alarm system.
3. Is there a reason that there are no provider notes on the plats? Do you need the providers notes from PCFD or do they fall under the Canyons SPA notes?
4. Will you please ask the applicant to provide a site map showing the intended access if it is not going to be from Red Pine Road?

Feel free to contact me if you have any questions.

Thank you.

Have a great day.

Battalion Chief Mike Owens  
District Fire Marshal  
Fire Prevention Bureau  
(435) 940-2520



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**From:** Tiffanie Robinson <[trobinson@summitcounty.org](mailto:trobinson@summitcounty.org)>

**Sent:** Thursday, June 8, 2023 3:29 PM

**To:** Steven Dennis <[sdennis@summitcounty.org](mailto:sdennis@summitcounty.org)>; Mike Owens <[mowens@pcfd.org](mailto:mowens@pcfd.org)>; Whit Sargent <[whit.sargent@dominionenergy.com](mailto:whit.sargent@dominionenergy.com)>; Kevin Berkley <[KBerkley@sbwrdr.org](mailto:KBerkley@sbwrdr.org)>; Richard Butz <[rbutz@summitcounty.org](mailto:rbutz@summitcounty.org)>; Kelly.Jepsen@pacificorp.com; Andy R. Davis <[adavis@summitcounty.org](mailto:adavis@summitcounty.org)>; Jennifer Barclay <[jbarclay@summitcounty.org](mailto:jbarclay@summitcounty.org)>; Gregory Wolbach <[gwolbach@summitcounty.org](mailto:gwolbach@summitcounty.org)>; Stephanie Poll <[spoll@summitcounty.org](mailto:spoll@summitcounty.org)>; Kenny Jacobson <[kjacobson@summitcounty.org](mailto:kjacobson@summitcounty.org)>; Jeff Ward <[jward@summitcounty.org](mailto:jward@summitcounty.org)>; Alyssa Richards

EXHIBIT F6

**From:** [Gregory Wolbach](#)  
**To:** [Tiffanie Robinson](#)  
**Cc:** [Steven Dennis](#)  
**Subject:** RE: Weight Parcel - "Elevations Condominiums" FSP Condo Plat and Plat Amendment #22-262 - Service Provider Review  
**Date:** Tuesday, June 13, 2023 9:50:28 AM  
**Attachments:** [E5E1FD26B9874CC1B44A06C70B64D0D2F383662421.png](#)

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Tiffanie,

I have completed my preliminary review of the Weight Townhomes, and have the following comments:

1. Please revise your "*SURVEYOR'S CERTIFICATE*", to the following:

**Surveyor's Certificate**

**I, Michael Demkowicz, do hereby certify that I am a Professional Land Surveyor in the State of Utah and that I hold license number 4857264 in accordance with Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act, I further certify that I have completed a survey and have referenced a record of survey map of the existing property boundaries in accordance with Section 17-23-17 and have verified the boundary locations and have placed monuments as represented on the plat. I do further certify that by authority of the owners, and in accordance with Utah Code Section 57-8-13, I have prepared this Condominium Plat containing 6 Residential Units, together with Common and Limited Common Areas, hereafter to be known as Weight Townhomes.**

---

**Michael Demkowicz, PLS 4857264**

**Date**

2. Please revise your "*LEGAL DESCRIPTION*", to include the following: "**More particularly described as follows:** (add metes & bounds description). **Contains: 40,031 sq. ft. or 0.919 Acres**"
3. Please add the following approval block:  
**PUBLIC SAFETY ANSWERING POINT APPROVAL**  
-  
**APPROVED THIS \_\_\_ DAY OF \_\_\_\_\_ 20 \_\_.**

---

**BY: JEFF WARD, GIS COORDINATOR**

**SUMMIT COUNTY PUBLIC SAFETY ANSWERING POINT**

4. Please revise the "*COUNTY ASSESSOR*" reviewed and accepted block to "**COUNTY TREASURER**".
5. Please revise the "*OWNERSHIP LEGEND*" (page 1 of 3) "*COMMERCIAL UNIT*" to "**COMMON AREA**".
6. Please include a "**LEGEND**" that has symbols of survey monuments with detailed descriptions of what was set or found at the exterior boundary corners.
7. Please include a "**SURVEYOR'S NARRATIVE**", and include the following:
  - 1) "**This purpose of this Condominium plat is to create 6 Residential Condominium Units.**"

2) **“Record of Survey drawing was filed on \_\_\_\_\_, 20\_\_ as file number S-\_\_\_\_\_, in the office of the Summit County Recorder.”**

8. Please revise all of the listed “2022” dates to “20\_\_” for all blocks and signatures.
9. Please add distance labels to exterior building walls/lines.
10. Please add distance labels to exterior lines of Limited Common Areas (driveways, walkways, and patios).
11. Please add bearing/distance and curve labels to the tbc for the shared driveway connecting to Red Pine Road.
12. Please correct building tie label “L12” in the line table. It should be perpendicular to the boundary line. I believe it should be **EAST 10.92’**
13. Please label all existing easements with bearings and distances that are located within the project boundary. Also, please tie these easements to the boundary lines.
14. Include addresses or an address table. The previous plat list the site address as 2306 West Red Pine Road, please coordinate with Jeff Ward, GIS Coordinator for approved addresses for all Units.
15. “NOTES”:
  - Please revise notes to remove all references to the Commercial Unit, Notes 8, 9 & 12. There are no Commercial Units located or defined within this Condominium Project.
  - Please append note 10, as follows: “...appurtenant to such Residential Unit.” **“No parking is allowed on the Shared Driveway or any Common Area.”**

Please let me know if you have any questions.

Thank you,

**Greg Wolbach, PLS, M.ASCE**

County Survey Manager / Cadastral Mapper II  
Summit County Recorder’s Office  
P.O. Box 128  
60 North Main  
Coalville, UT 84017  
O: 435-336-0159  
[gwolbach@summitcounty.org](mailto:gwolbach@summitcounty.org)



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**From:** Tiffanie Robinson <[trobinson@summitcounty.org](mailto:trobinson@summitcounty.org)>

**Sent:** Thursday, June 8, 2023 3:29:01 PM

**To:** Steven Dennis <[sdennis@summitcounty.org](mailto:sdennis@summitcounty.org)>; Mike Owens <[mowens@pcfd.org](mailto:mowens@pcfd.org)>; Whit Sargent <[whit.sargent@dominionenergy.com](mailto:whit.sargent@dominionenergy.com)>; Kevin Berkley <[KBerkley@sbwrdr.org](mailto:KBerkley@sbwrdr.org)>; Richard Butz <[rbutz@summitcounty.org](mailto:rbutz@summitcounty.org)>; Kelly.Jepsen@pacificorp.com <[Kelly.Jepsen@pacificorp.com](mailto:Kelly.Jepsen@pacificorp.com)>; Andy R.

**From:** [Kevin Berkley](#)  
**To:** [Tiffanie Robinson](#)  
**Cc:** [michael@alliance-engr.com](mailto:michael@alliance-engr.com)  
**Subject:** RE: Weight Parcel - "Elevations Condominiums" FSP Condo Plat and Plat Amendment #22-262 - Service Provider Review  
**Date:** Monday, June 12, 2023 3:38:52 PM

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Tiffanie,

Thanks for sending this over for our review. We have one item to add to the plat:

Add the following note:

*All units may require privately owned and operated wastewater ejector pumps for wastewater service for the lower levels.*

We have another simple design item for Alliance to address: On Sheet C-104, the laterals are identified as both HDPE (profile views) and PVC (plan view). It appears that PVC laterals will be adequate for this development.

Please let me know if you have any questions.

Sincerely,

Kevin Berkley



Kevin Berkley, P.E.  
District Engineer  
Snyderville Basin Water Reclamation District  
2800 Homestead Road  
Park City, UT 84098  
Office: 435.214.5236  
Mobile: 435.731.0424  
[kberkley@sbwrd.org](mailto:kberkley@sbwrd.org)

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**From:** Tiffanie Robinson <[trobinson@summitcounty.org](mailto:trobinson@summitcounty.org)>  
**Sent:** Thursday, June 8, 2023 3:29 PM  
**To:** Steven Dennis <[sdennis@summitcounty.org](mailto:sdennis@summitcounty.org)>; Mike Owens <[mowens@pcfd.org](mailto:mowens@pcfd.org)>; Whit Sargent <[whit.sargent@dominionenergy.com](mailto:whit.sargent@dominionenergy.com)>; Kevin Berkley <[KBerkley@sbwrd.org](mailto:KBerkley@sbwrd.org)>; Richard Butz <[rbutz@summitcounty.org](mailto:rbutz@summitcounty.org)>; Kelly.Jepsen@pacificcorp.com; Andy R. Davis <[adavis@summitcounty.org](mailto:adavis@summitcounty.org)>; Jennifer Barclay <[jbarclay@summitcounty.org](mailto:jbarclay@summitcounty.org)>; Gregory Wolbach <[gwolbach@summitcounty.org](mailto:gwolbach@summitcounty.org)>; Stephanie Poll <[spoll@summitcounty.org](mailto:spoll@summitcounty.org)>; Kenny Jacobson <[kjacobson@summitcounty.org](mailto:kjacobson@summitcounty.org)>; Jeff Ward <[jward@summitcounty.org](mailto:jward@summitcounty.org)>; Alyssa Richards



6280 North Silver Creek Drive  
Park City, Utah 84098-6202

December 28, 2021

Re: Weight Townhomes 2306 W Red Pine Rd, Park City, UT

To Whom It May Concern:

This is to advise you of our ability to provide electrical service to the project located at **2306 W Red Pine Rd, Park City, UT** with the Electric Service Regulations on file with the Utah Public Service Commission and upon completion of necessary contracts and agreements.

Sincerely,

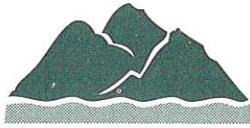
*Pamela Neilson*

Pamela Neilson

Journeyman Estimator

435-655-7813

EXHIBIT F10



SNYDERVILLE BASIN

# WATER RECLAMATION DISTRICT

2800 HOMESTEAD RD, PARK CITY, UT 84098

WWW.SBWRD.ORG

T 435-649-7993

F 435-649-8040

November 24, 2021

Mr. Michael Demkowicz  
Alliance Engineering  
323 Main St.  
P.O. Box 2664  
Park City, UT 84060-2664

RE: Weight Parcel Residences  
Service Provider Letter

Dear Mr. Demkowicz,

This is to respond to a request regarding wastewater service for the above referenced project in the Snyderville Basin.

The proposed project is within the Snyderville Basin Water Reclamation District (SBWRD) service area. The SBWRD can provide wastewater service to the project provided the established procedures for obtaining said wastewater service are followed as outlined in Section 4.2.D.1 and 4.6 of the Snyderville Basin Development Code and SBWRD standards.

Wastewater service is not committed by SBWRD until SBWRD receives full payment of all required fees including SBWRD impact fees.

Please contact Kevin Berkley at extension 236 with any questions.

Sincerely,

*for*  
Bryan D. Atwood, P.E.  
District Engineer

Cc: Taissa Folden, Columbus Pacific  
Tony Tyler, Coumbus Pacific  
Project File



From: **Summit Water Distribution Company**

Subject: Willing to Serve Letter – Weighted Townhomes

12/03/2022

To Whom It May Concern,

Pursuant to the development plat approval process in Summit County, this letter confirms Summit Water Distribution Company's (SWDC) willingness to serve the Weighted Townhomes project. This water service is in accordance with commitments being made in the project's development agreement, which is to be executed by the developer as a condition precedent to water delivery.

SWDC has water sufficient to serve the needs of this project. In addition, SWDC has existing infrastructure located in close proximity to the project and adequate reservoir storage available to serve the project.

Thank you,

A handwritten signature in black ink, appearing to read "Mike Folkman", is positioned below the "Thank you," text.

**Mike Folkman**

Assistant General Manager



Summit Water Distribution Company

O. 435-602-3480

C. 435-640-8017

mike.folkman@swdc.us



**Summit Water Distribution Company**

8506 Bluebird Lane - Park City, Utah 84098 | 435.649.7324 | [www.summitwater.us](http://www.summitwater.us)

EXHIBIT F12

December 13, 2021

Dominion Energy  
6445 N Silver Creek Dr.  
Park City, UT 84098

Dear Developer:

*Re: Natural Gas Service Availability Letter*

Natural gas can be made available to serve the Weight Townhomes development when the following requirements are met:

1. Developer provides plat maps, drawings, construction schedules and/or buildings that will be served by natural gas, and all other relevant information regarding commercial and residential uses, including but not limited to, proposed natural gas appliances (number and type of appliances per unit, homes, building).
2. Review by Dominion Energy' Engineering and/or Pre-Construction Department to determine load requirements. System reinforcement requirements and estimated costs to bring natural gas to the development.

Upon completion of Dominion Energy' review of the development's natural gas requirements, agreements will be prepared, as necessary, for high pressure, intermediate high pressure and/or service line extensions required to serve the development. These service extensions must be paid in advance.

To accommodate your construction schedule and provide cost estimates to you, please contact me at your earliest convenience.

Sincerely,



Whit Sargent  
Pre-Construction Representative

# FINAL SITE PLAN / CONDOMINIUM PLAT APPLICATIONS

## CANYONS SPA GUIDELINES; SUSTAINABILITY



### SUSTAINABILITY STATEMENT

COLUMBUS PACIFIC DEVELOPMENT IS COMMITTED TO CARING FOR AND ENHANCING THE ASTONISHING ENVIRONMENTS WE ARE SO PRIVILEGED TO BE A PART OF AND PLAN FOR SUSTAINABILITY AND ENERGY EFFICIENCY FROM THE CONCEPT OF EVERY PROJECT. WE ARE PASSIONATE ABOUT THE ENVIRONMENT AT EVERY LEVEL OF THE COMPANY AND AT EACH OF OUR PROPERTY DEVELOPMENTS. THIS INCLUDES INTEGRATION OF DEVELOPMENT, DESIGN, CONSTRUCTION, OPERATIONS, AND COMMUNITY INVOLVEMENT. WITH THIS AS OUR FOCUS, WE HAVE DEFINED A VISION WHICH IS THE FOUNDATION FOR ALL OUR DECISIONS AND ACTIONS RELATING TO SUSTAINABILITY IN DEVELOPMENT.

SUSTAINABLE PRACTICES SPECIFIC TO THE WEIGHT PARCEL - ELEVATION PROJECT INCLUDE:

- SIGNIFICANT COMPONENTS OF PASSIVE HOUSE CERTIFICATION HAVE BEEN INCORPORATED INTO THE DESIGN OF THE PROJECT, ALTHOUGH CERTIFICATION IS NOT POSSIBLE DUE TO MECHANICAL VENTING REQUIREMENTS. THESE COMPONENTS INCLUDE:
  - HIGH-PERFORMANCE THERMAL CONTROL OF THE BUILDING ENCLOSURES
  - TRIPLE-PANED WINDOW SYSTEMS
  - ENERGY STAR COMPLIANT ELECTRIC APPLIANCES
  - LED LIGHTING
  - LOW WATER NATURAL LANDSCAPING
  - DARK SKY COMPLIANT BUILDINGS
  - LOCAL SOURCING FOR MOST BUILDING MATERIALS
- RENEWABLE ENERGY SYSTEMS (PV SOLAR)
- EV CHARGING FOR ELECTRIC CARS AT EACH UNIT
- CONSTRUCTION WASTE MANAGEMENT PROTOCOLS
- STORAGE AND COLLECTION OF RECYCLABLES DURING CONSTRUCTION ACTIVITIES
- USE OF LOW EMITTING CONSTRUCTION MATERIALS
- DESIGNED FOR AND ANTICIPATED TO MEET U.S. GREEN BUILDING COUNCIL'S LEED GOLD CERTIFICATION REQUIREMENTS.
- DESIGNED FOR AND ANTICIPATED TO MEET U.S. DEPARTMENT OF ENERGY ZERO ENERGY READY HOME REQUIREMENTS.
- PARTICIPATION IN THE CANYONS VILLAGE CONNECT SHUTTLE/RIDE-SHARING OPTIONS FOR THE RESORT.

**From:** [Michelle Cummings](#)  
**To:** [Tiffanie Robinson](#)  
**Subject:** Elevation Condominium Final Site Plan  
**Date:** Wednesday, March 13, 2024 4:09:22 PM

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You don't often get email from michellehcummings@gmail.com. [Learn why this is important](#)

Summit County Manager and County Commissioners,

Again we are here trying to gain access and finalize a project that should have not been allowed to use Red Pine Road. The developer bought a property with that stipulation, and then proceeded to push their way, get sympathy or lack of knowledge of the square footage that was traded for that property years before.

I still oppose the use of Red Pine Road for the mere fact that they will check in at the Hotel on the opposite side (Escala Ct Rd) within the resort core, and then have to drive around to Red Pine Rd., a private street to park. When all the developer would have to do is offer parking at the hotel and then a golf cart shuttle on heated walkways to each of the condominiums. Unfortunately, no county members ever took the time to actually walk the proposed project to see if what the developer was saying was the only option. We all know it was his cheapest option. After they build and walk away the residents are left with the problems.

Unfortunately I will be out of town during the meeting, and send this email instead.

Respectfully,  
Michelle Cummings  
Aspen Creek Crossing

EXHIBIT H